

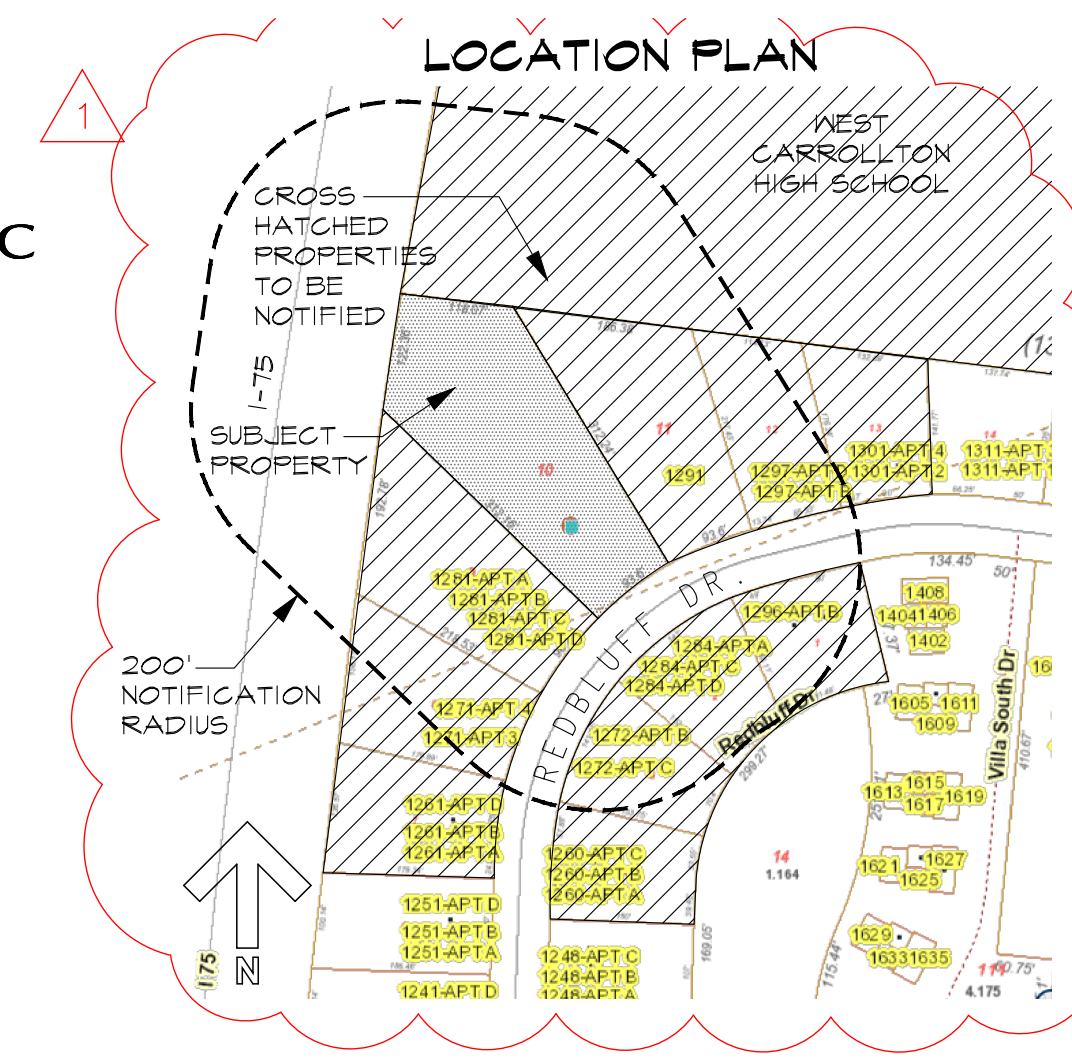
# NEW CONSTRUCTION FOR: 7-UNIT APARTMENT BUILDING

LOT 4096 REDBLUFF DRIVE  
WEST CARROLLTON, OHIO

OWNER:  
MIR ALI, ALI PROPERTIES, LLC

ARCHITECT:  
SEBALD ARCHITECTS INC

CIVIL ENGINEER:  
HALEY-DUSA ENGINEERING  
& SURVEYING GROUP



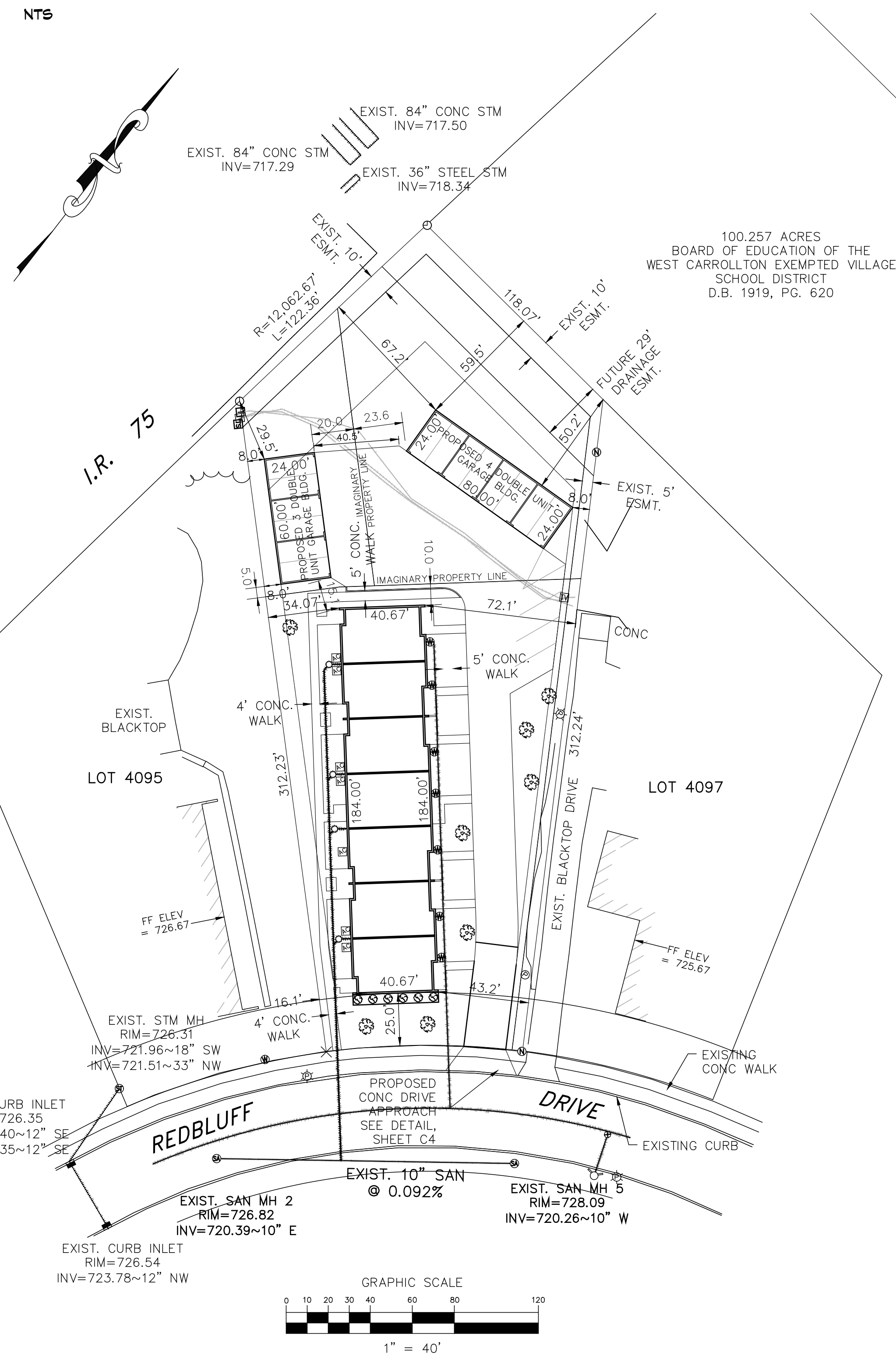
**SEBALD**  
ARCHITECTS INC

1705 EAST FOURTH ST.  
DAYTON, OHIO 45403  
937 • 253 • 5995  
937 • 369 • 3787  
lora@sebaldarchitects.com



Lora E. Sebald, License #9841  
Expiration Date: 12/31/25

**KEY PLAN**



**CODE NOTES**

OBC 2017	PROPOSED
USE GROUP	R-3
CONSTRUCTION TYPE	V-B
FIRE GRADING/	MED / LOW
MIXED USE SEPARATED	NOT A MIXED USE
AREA ALLOWABLE	Base Tab: UL
Frontage Increase:	N/A
Sprinkler Increase:	NA
TOTAL ALLOWABLE AREA:	UL
ACTUAL AREA	6,865
UNIT AREA (for 6 units)	948
UNIT AREA (for 7th unit)	985
CORRIDOR WALLS	N/A
SEPARATION WALLS	1-HOUR
FIRE SUPPRESSION	NFPA 13D
EXIT SIGNS/EMERG. LIGHTS	NOT REQD PER 1008.2 EXCEPTION #3
PLUMBING FIXTURES (PER UNIT):	
water closets:	1
urinals:	0
lavatories:	1
drinking fountain:	0
service sinks:	0
shower:	1

	ALLOWABLE	ACTUAL
BUILDING AREA	UL	6,865
HEIGHT	40'	18'-6"
NO. OF STORIES	3	1

	PROVIDED
EXITS/DOORS/HARDWARE	2 EXITS PER UNIT
HANDICAPPED ACCESSIBILITY REQUIRED?	BEDROOM EGRESS WINDOWS
	TYPE B UNITS

**CODE NOTES:**

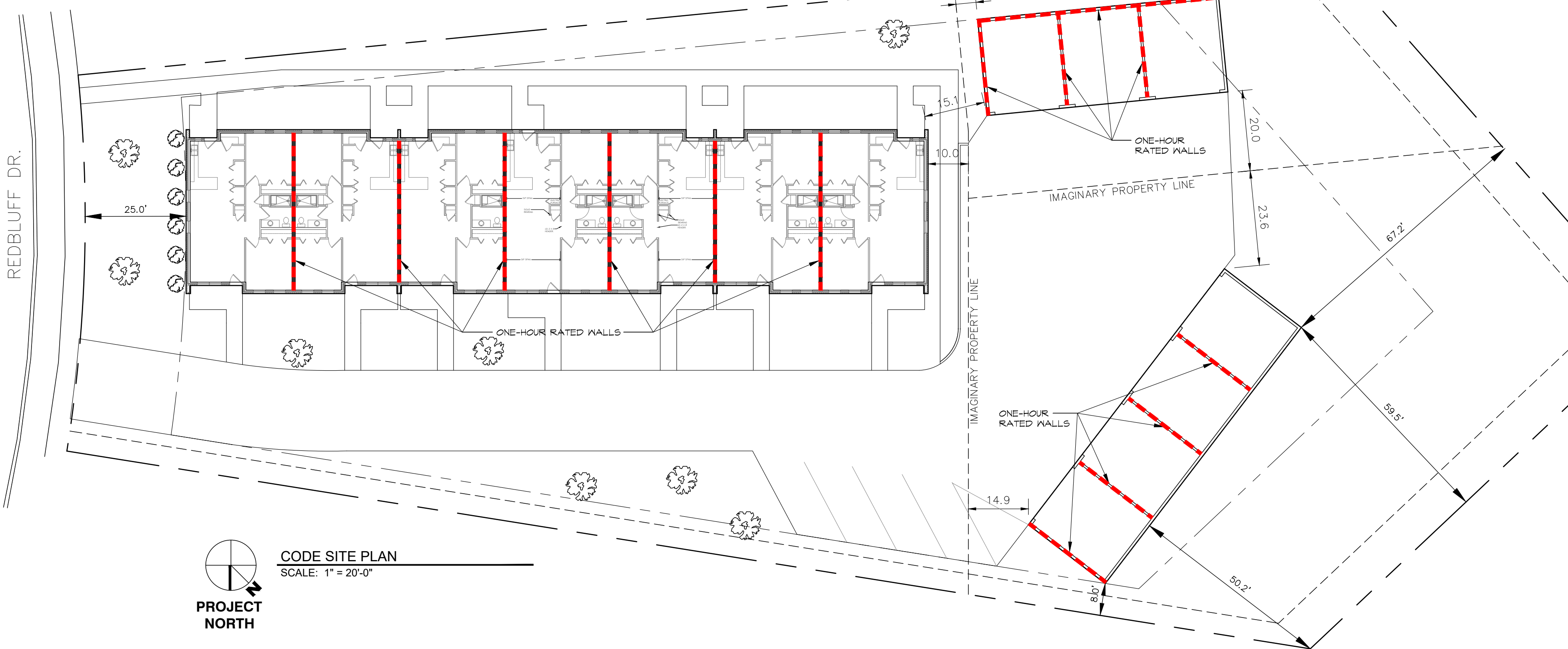
- SMOKE DETECTORS/ALARMS PROVIDED PER 907.2.10.
- NO MANUAL FIRE ALARM SYSTEM REQUIRED PER 907.2.9.
- SPRINKLER SYSTEM TO BE PROVIDED IN COMPLIANCE W/ NFPA 13D
- SPRINKLER MONITORING TO BE PROVIDED PER 903.4.
- SPRINKLER SYSTEM PERMIT DRAWINGS TO BE PROVIDED BY CERTIFIED FIRE PROTECTION DESIGNER.
- PLUMBING, MECHANICAL AND ELECTRICAL PERMIT DRAWINGS TO BE SUBMITTED UNDER SEPARATE COVER.

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE DRAWINGS WHICH MAY AFFECT THE WORK.
- ALL DIMENSIONS ARE TO FACE OF MASONRY AND ARE TO ROUGH OPENING AND FACE OF STUD FOR FRAMING, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE GOVERNING CODES AND ALL APPLICABLE COUNTY, STATE AND FEDERAL LAWS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND REGULATIONS ADOPTED PURSUANT THERETO.
- THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT BUILDING STRUCTURE FROM EXCESSIVE CONCENTRATED LOADS OR IMPACT LOADS CAUSED BY THE DROPPING OR FALLING OF EQUIPMENT OR MATERIAL DURING THE CONSTRUCTION PROCESS AND EXTENDED EXPOSURE TO INCLEMENT WEATHER CONDITIONS OF MATERIALS.
- PROVIDE ALL PERMITS AS REQUIRED FOR BUILDING CONSTRUCTION AND OCCUPANCY.
- PROVIDE WOOD BLOCKING AT WALL HUNG SINKS AND PROVIDE BLOCKING FOR FUTURE GRAB BARS IN RESTROOMS.

**SHEET INDEX**

- T1 TITLE SHEET / CODE NOTES
- C1 EXISTING TOPO / DEMOLITIONS SITE PLAN
- C2 CIVIL SITE / UTILITY PLAN
- C3 GRADING / EROSION CONTROL PLAN
- C4 CIVIL DETAILS
- C5 EROSION CONTROL DETAILS
- A1 FOUNDATION PLAN / FLOOR PLAN / ROOF FRAMING PLAN / NOTES
- A2 EXTERIOR ELEVATIONS / BUILDING SECTION / FRAMING DETAILS
- A3 WALL SECTIONS / PLAN DETAIL / DETAILS / SCHEDULES
- A4 WALL SECTIONS / PLAN DETAILS / SHEAR WALL SCHEDULE
- E1 ELECTRICAL OUTLET PLAN / REFLECTED CEILING LIGHTING PLAN
- G1 DETACHED GARAGE FOUNDATION PLANS
- G2 DETACHED GARAGE FLOOR PLANS
- G3 GARAGE EXTERIOR ELEVATIONS / TYPICAL WALL SECTION



**PROJECT NORTH**

**CODE SITE PLAN**  
SCALE: 1" = 20'-0"

NEW 7-UNIT APARTMENT BUILDING FOR:  
**MIR ALI**  
LOT 4096 REDBLUFF DRIVE  
West Carrollton, Ohio

**PROJECT NO.**

170610

**ISSUED**

PLANNING 5-29-18  
PERMIT SET 8-15-18  
RE-ISSUED 2-23-24  
REVISION #1 4-30-24

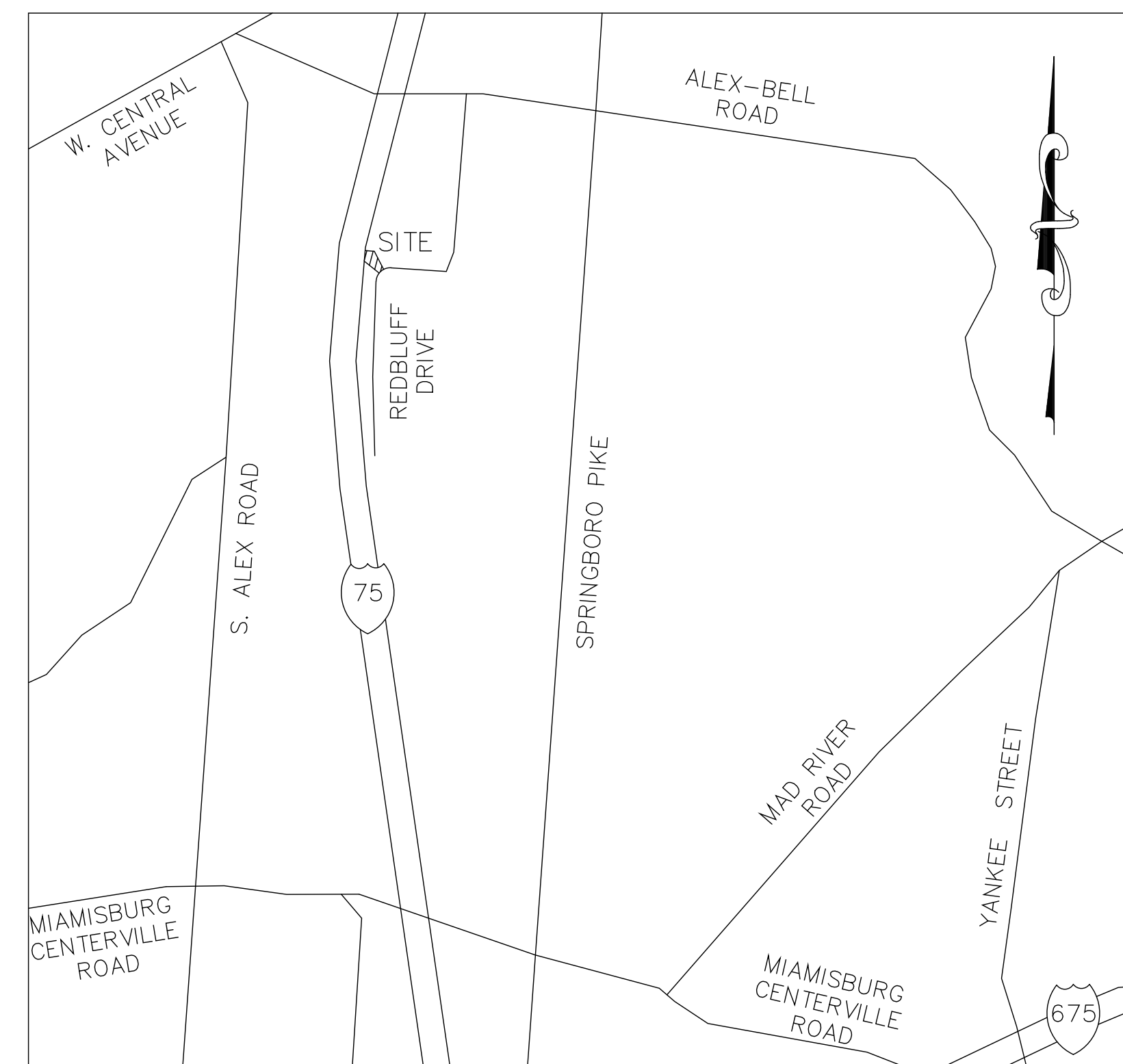
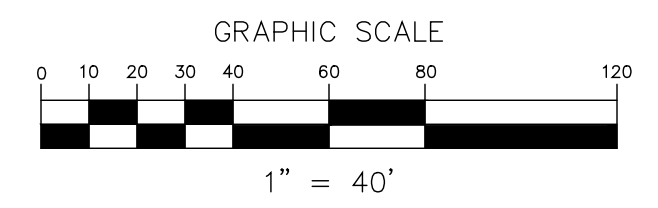
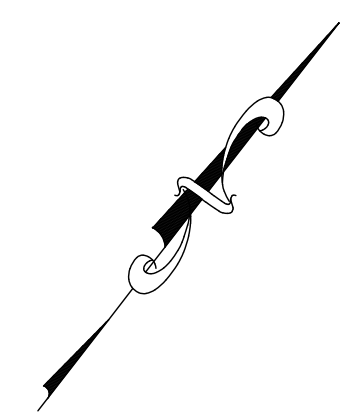
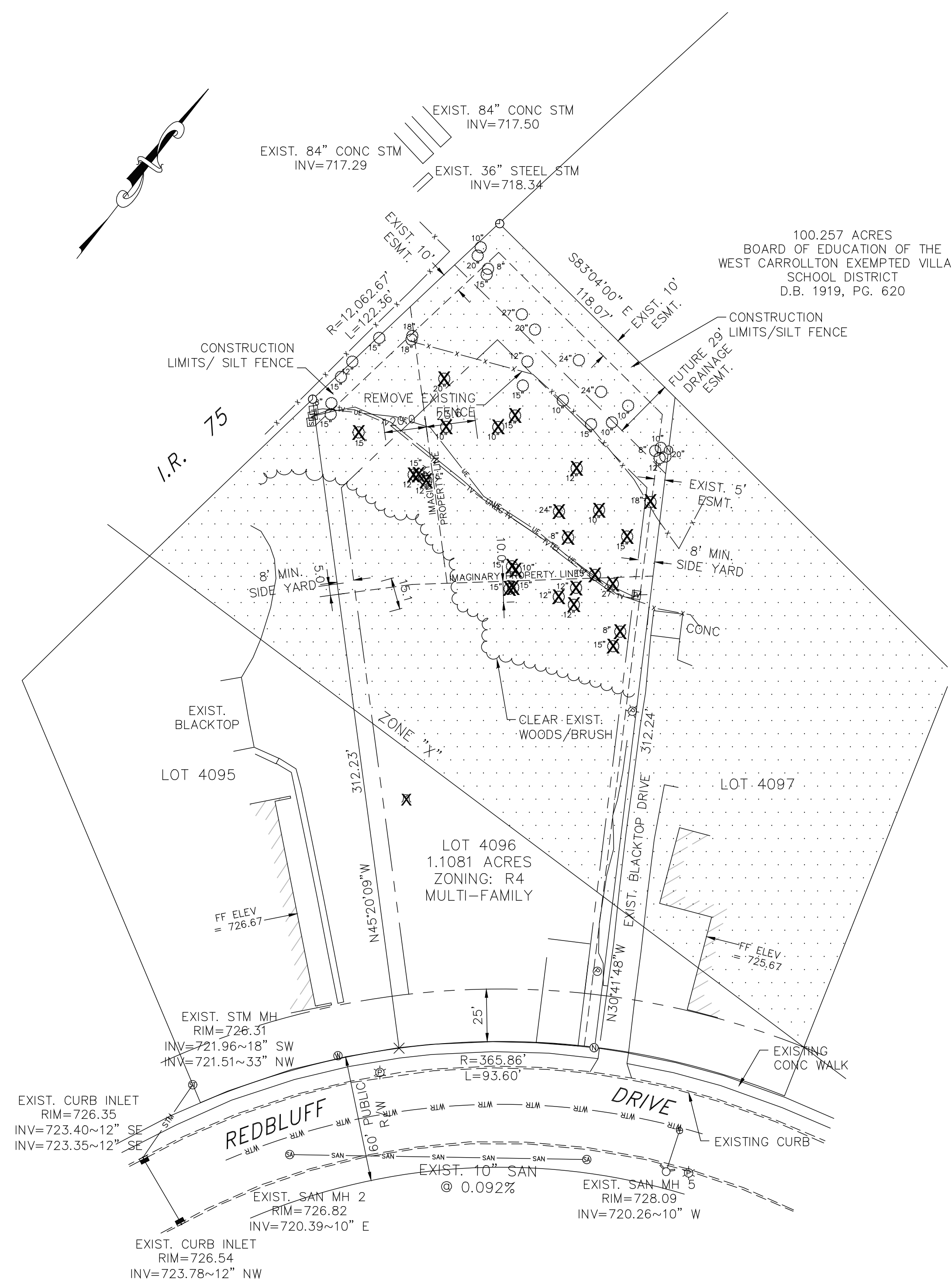
**SHEET TITLE**

TITLE SHEET / SITE  
PLAN / CODE NOTES

**SHEET NO.**

**T-1**

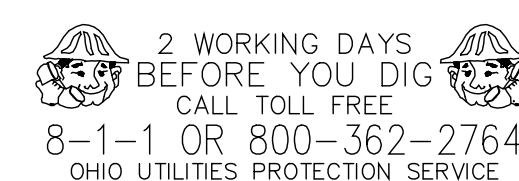




VICINITY MAP  
APPROX. SCALE: 1" = 2000'

SYMBOL LEGEND	
■	CURB INLET
⊙	STORM MANHOLE
⊙	TREE W/ TRUNK SIZE IN INCHES
⊞	ELECTRIC TRANSFORMER
⊙	POWER POLE
⊙	POWER/LIGHT POLE
⊙	TREE STUMP
⊙	SANITARY MANHOLE
⊞	TELEPHONE SPLICE BOX
⊞	TELECOM SPLICE BOX
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊗	TREE TO BE REMOVED
⊗	TREE STUMP TO BE REMOVED
⊙	IRON PIN FOUND W/ "NORFLEET" ID CAP
⊙	5/8" IRON PIN FOUND
⊗	CUT CROSS FOUND
⊙	3/4" IRON PIPE FOUND

FLOOD ZONE "X": Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.



OUPS REFERENCE NO. (DESIGN):  
A 721 901 760

By: \_\_\_\_\_ Reg. Engineer No. E-49719

PROJECT No.	DATE	REVISION
E-3365		
DATE 5-30-18		
SCALE 1" = 40'		
DES. JRC		
DR. JRC		
CKD. TED		

Halley-Dusa  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Phone: (937) 439-4300 Fax: (937) 439-2005

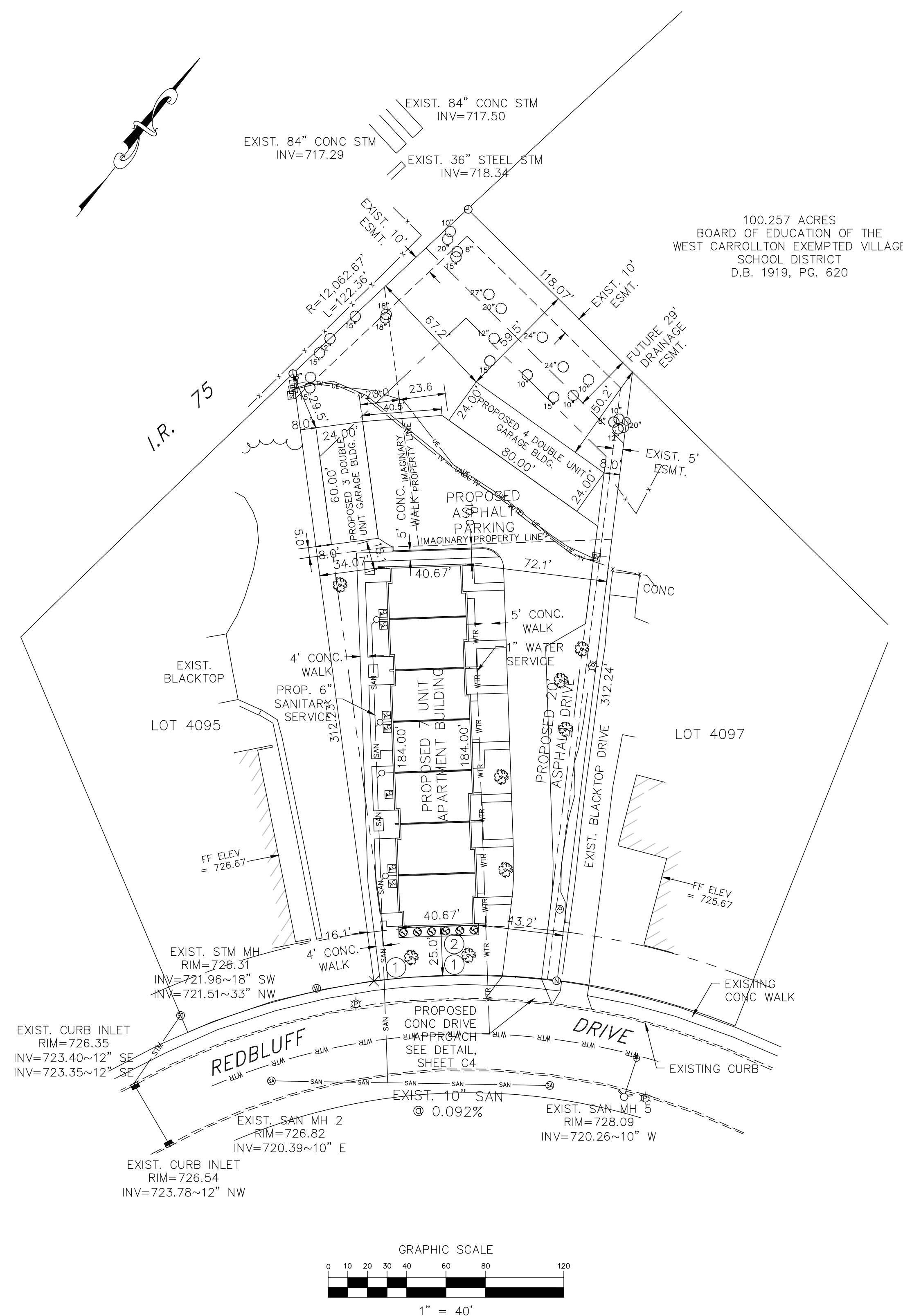


PROPOSED APARTMENT BUILDING  
4096 REDBLUFF DRIVE  
CITY OF WEST CARROLLTON  
MONTGOMERY COUNTY, OHIO

EXISTING TOPO/DEMOLITION PLAN

SHEET NO.

C1

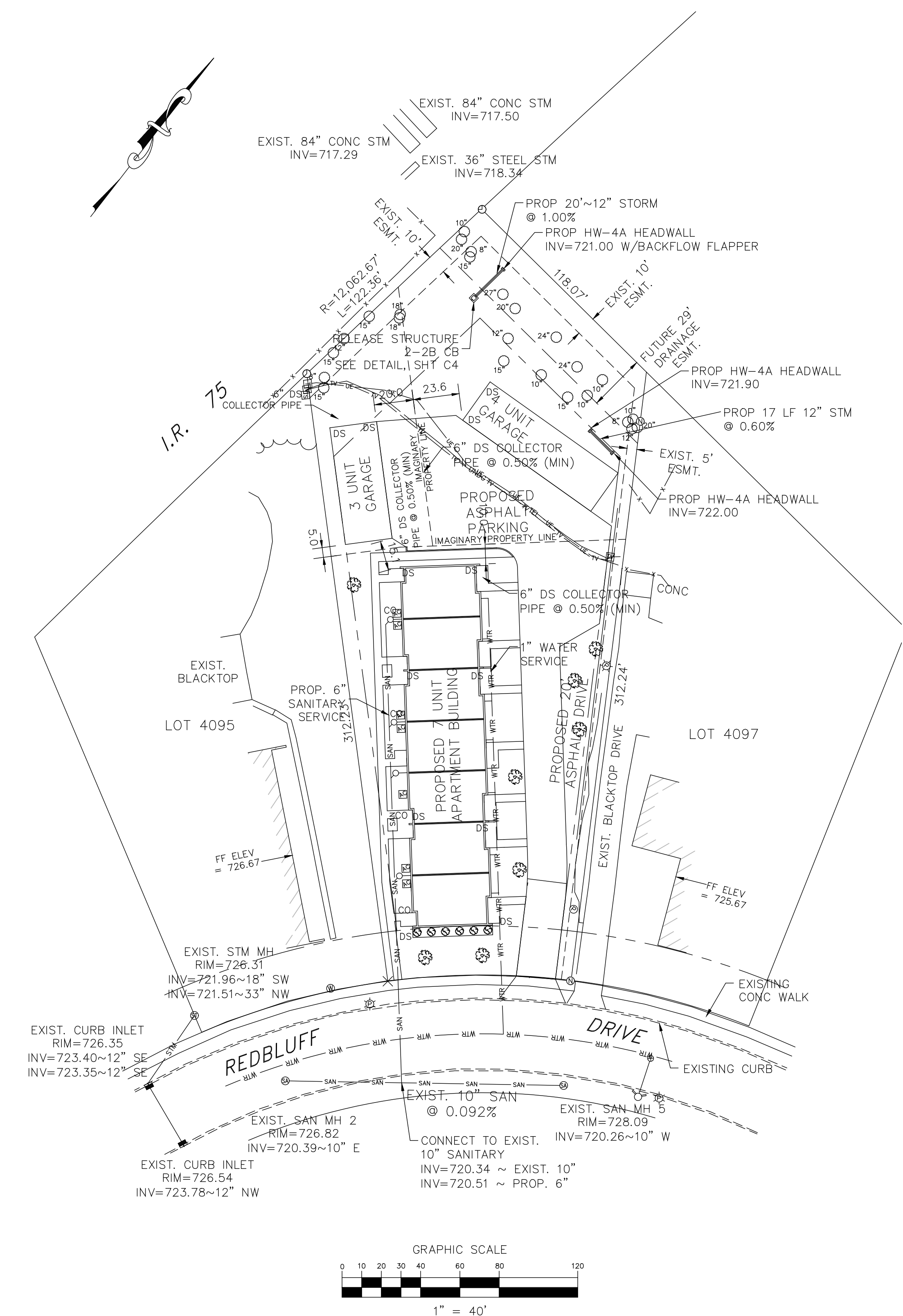


CIVIL SITE PLAN  
SCALE: 1" = 40'

2 WORKING DAYS BEFORE YOU DIG  
CALL TOLL FREE  
8-1-1 OR 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE  
OUPS REFERENCE NUMBER (DESIGN):  
A 721 901 760

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- ▭ - INDICATES PROPOSED ASPHALT PAVEMENT (SEE DETAIL, SHEET C4)
- ▭ - INDICATES PROPOSED CONCRETE PAVEMENT (SEE DETAIL, SHEET C4)
- ① - 2 SHADE TREES, SPACED 30 FEET APART, 1-1/2" CALIPER AT TIME OF PLANTING
- ② - 6 SHRUBS, EQUALLY SPACED IN PLANTING BED



CIVIL SITE UTILITY PLAN  
SCALE: 1" = 40'

PROJECT No.	DATE	REVISION
E-3365	6-15-18	
DATE	1" = 40'	
SCALE	1" = 40'	
DES.	TED	
DR.	JRC	
CKD.	TED	

100.257 ACRES  
BOARD OF EDUCATION OF THE  
WEST CARROLLTON EXEMPTED VILLAGE  
SCHOOL DISTRICT  
D.B. 1919, PG. 620

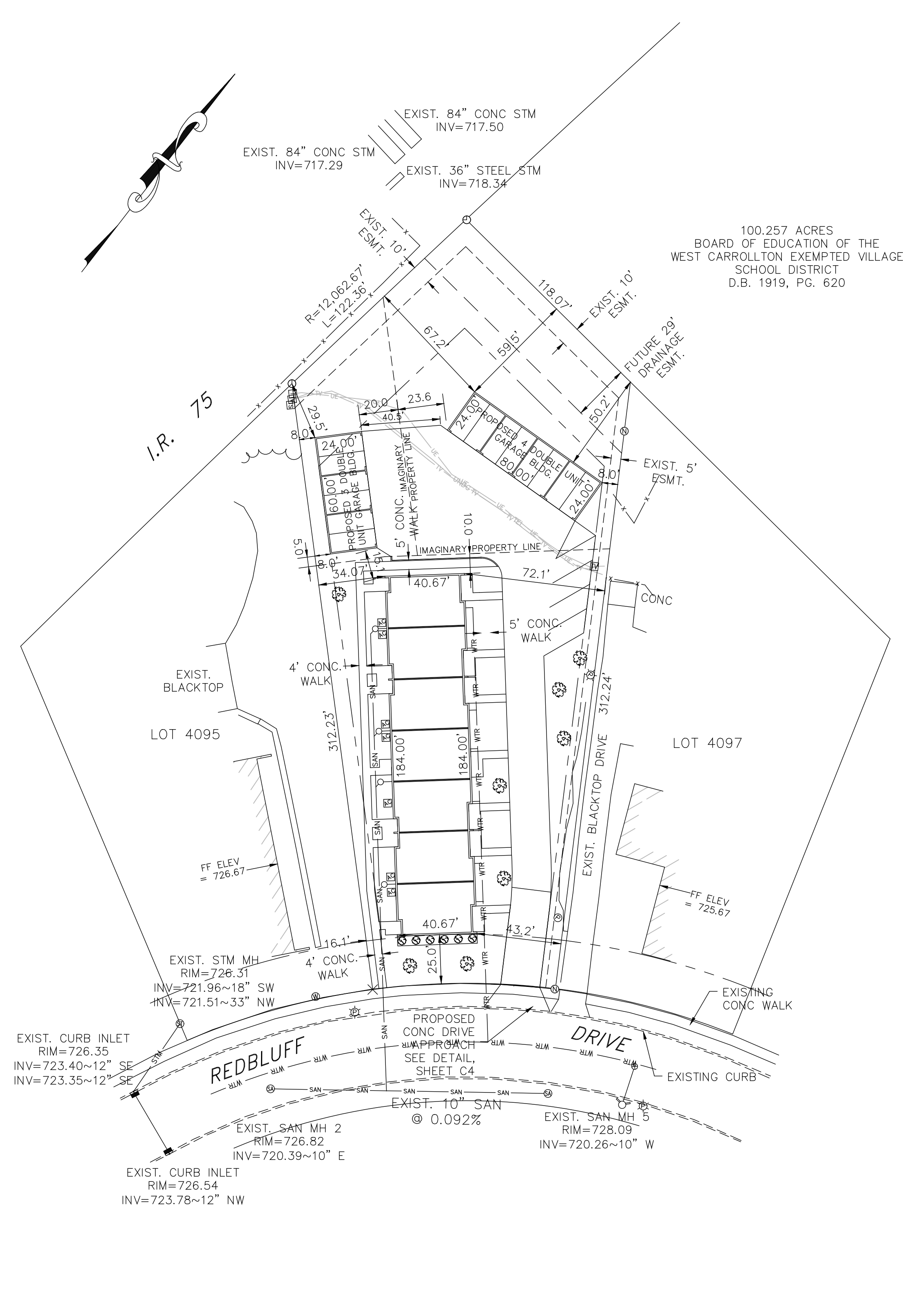
PROPOSED APARTMENT BUILDING  
4096 REDBLUFF DRIVE  
CITY OF WEST CARROLLTON  
MONTGOMERY COUNTY, OHIO

CIVIL SITE/UTILITY PLAN

SHEET NO. C2

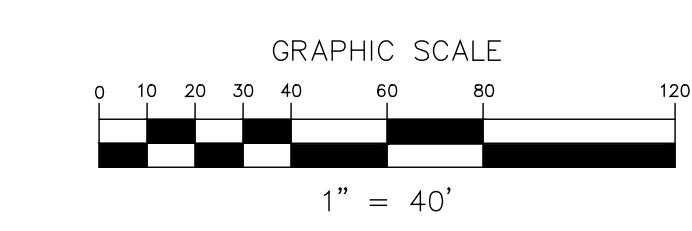
By: \_\_\_\_\_ Reg. Engineer No. E-49719

Hailey-Dusa  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Montgomery, Ohio 45382  
Phone: (937) 439-4300 Fax: (937) 439-2005



100.257 ACRES  
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PROPOSED APARTMENT BUILDING  
 4096 REDBLUFF DRIVE  
 CITY OF WEST CARROLLTON  
 MONTGOMERY COUNTY, OHIO

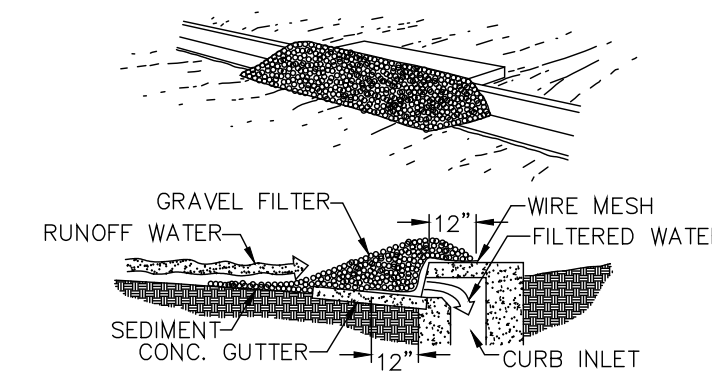
GRADING/EROSION CONTROL PLAN

SHEET NO.

C3

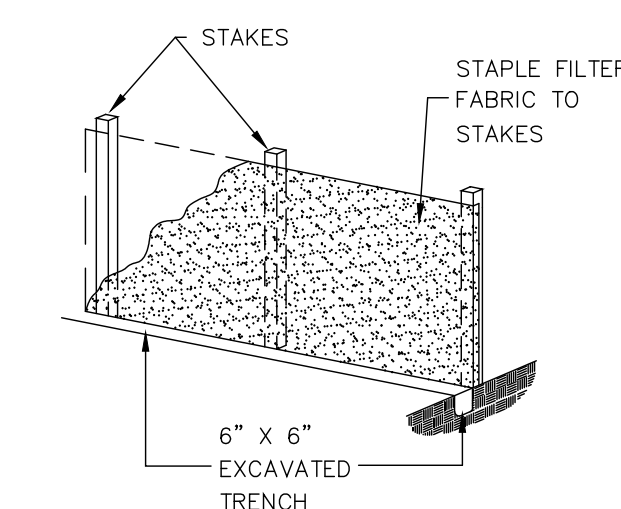
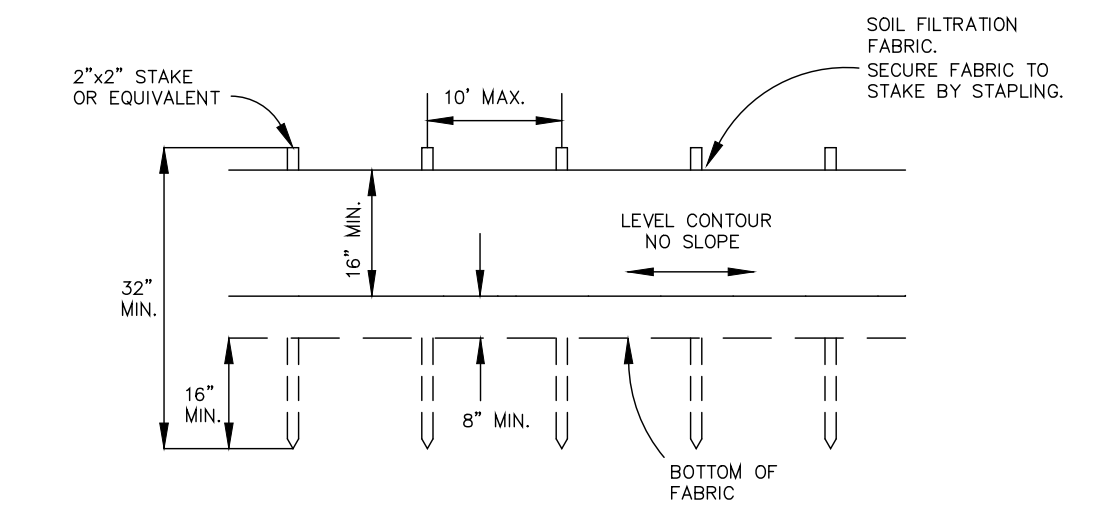




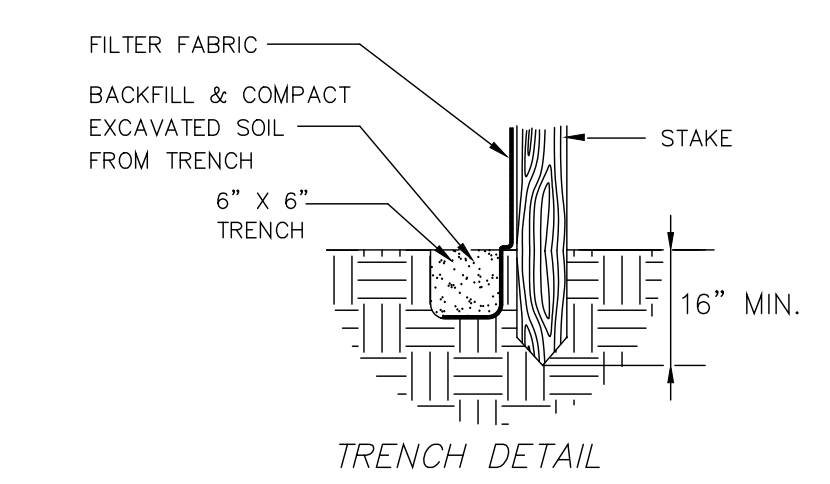


**SPECIFIC APPLICATION**  
 THIS METHOD OF INLET PROTECTION IS APPLICABLE CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

SEDIMENT PROTECTION FOR CURB INLET DETAILS



SILT FENCE INSTALLATION DETAIL

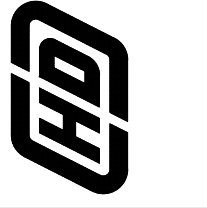


TRENCH DETAIL

SF SILT FENCE DETAIL

PROJECT No.	DATE	REVISION
E-3365		
DATE 5-30-18		
SCALE 1" = 40'		
DES. TED		
DR. JRC		
CKD. TED		

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 270 Regency Ridge Drive, Suite 203  
 Cincinnati, Ohio 45245  
 Phone: (937) 439-4300 Fax: (937) 439-2005



**CIVIL SITE CONSTRUCTION SEQUENCE**

1. Install Sediment Control Measures before disturbing existing grade or commencing site grading
  - a. Install inlet protection on existing Catch Basins in public right-of-way(s) as shown
  - b. Install Silt Fence as shown in plan view per details
  - c. Stabilized Construction Entrance per plan & details
  - d. Any other measures needed on site(s)
2. Strip topsoil & stockpile. All topsoil stockpiles must be surrounded by silt fence.
3. Preserve and Protect Existing Vegetation
4. Temporary Vegetative Stabilization of Control Measures
  - Temporary Seeding
  - Vegetative Filter
  - Mulching
  - (Any measures to be used on site)
5. Excavate Drive and Parking to Subgrade
  - Compact Subgrade & add Aggregate Base
6. Site Construction Work
  - Buildings
  - Paving (Walks, Patios, etc.)
7. Vegetative Cover on All Areas to be exposed Longer than 45 Days.
8. Surface Driveways and Parking
  - Paving and/or concrete drive approaches
9. Permanent Vegetative Stabilization of All Exposed Areas
  - Permanent Seeding
  - Sodding
10. Install Permanent Landscaping
11. Perform Continuing Maintenance

**INSPECTION SCHEDULE**

1. Diversion and Structural Measurer – will be inspected at seven (7) day intervals or after every rain storm producing runoff.
2. Sediment Basins and Ponds – will be checked after each major phase of the development for sediment accumulation.
3. Vegetative Planting – Spring planting will be checked during summer or early fall.
4. Repairs – Any erosion control measures, structural measures, or other related items in need of repair will be made within seven (7) days.
5. Drainageways, ditches and other areas that support a designed flow of water will be mowed regularly to maintain that flow.
6. Seeded areas where the seed has not produced a good cover will be inspected and fertilized as necessary.

**NOTES**

1. ANY TEMPORARY SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO "RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT, AND URBAN STREAM PROTECTION."
3. EROSION CONTROL DEVICES AS SHOWN ARE MINIMUM PROTECTION REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL DEVICES FOR PROTECTION AT THEIR EXPENSE UNTIL FINAL GROUND IS STABILIZED.
4. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES 2:1 OR GREATER. (BLANKET EFB4 BY CONTECH CONSTRUCTION PRODUCTS--OR APPROVED EQUAL).

**CITY OF WEST CARROLLTON DEPARTMENT OF ENGINEERING GENERAL NOTES**

ALL WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF WEST CARROLLTON, CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS LATEST EDITION.

WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY OWNER AND THE CITY OF WEST CARROLLTON ENGINEERING DEPARTMENT.

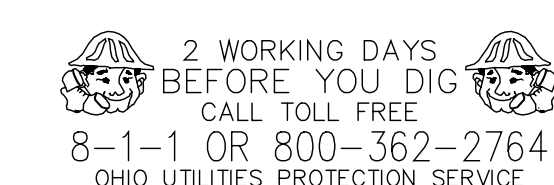
FORTY-EIGHT HOURS PRIOR TO ANY EARTH DISTURBANCE WORK IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE CITY OF WEST CARROLLTON ENGINEERING DEPARTMENT AT 937/324-7648.

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION.

SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.

ALL MUD/DIRT TRACKED ONTO PUBLIC ROADS FROM THE SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED.

NO CONSTRUCTION SHALL COMMENCE UNTIL ALL CITY OF WEST CARROLLTON PERMITS HAVE BEEN ISSUED AS REQUIRED.



OUPS REFERENCE NUMBER (DESIGN):  
 A 721 901 760

PROPOSED APARTMENT BUILDING  
 4096 REDBLUFF DRIVE  
 CITY OF WEST CARROLLTON  
 MONTGOMERY COUNTY, OHIO  
 EROSION CONTROL DETAILS

SHEET NO.

C5



STRUCTURAL / FRAMING NOTES

1. SOIL BEARING CAPACITY ASSUMED TO BE A MINIMUM OF 1,500 P.S.F.
2. SOIL TEST BORINGS TO BE PERFORMED TO CONFIRM BEARING CAPACITY OF SOIL. NOTIFY ARCHITECT IF 1,500 P.S.F. SOIL BEARING CAPACITY IS NOT PRESENT.
4. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 P.S.I.
5. ALL CONCRETE TO BE AIR-ENTRAINED 2% - 7%.
6. CONCRETE WORK SHALL CONFORM TO ACI 318 (REINFORCED CONCRETE) AND/OR 318.1 (PLAIN CONCRETE)
7. ALL REINFORCING BARS SHALL CONFORM W/ ASTM A 615. ALL BARS SHALL BE GRADE 60.
8. ALL CONTINUOUS BARS SHALL HAVE A MINIMUM LAP SPLICE OF 42 DIAMETERS W/ CORNER BARS AT ALL CORNERS. SPLICE LOCATIONS SHALL BE STAGGERED.
9. CONTRACTOR TO PROVIDE ADEQUATE BRACING OR SHORING. PROVIDE TEMPORARY BRACING UNTIL PERMANENT BRACING IS IN PLACE.
10. STRUCTURAL FRAMING MEMBERS TO BE SOUTHERN YELLOW PINE NO. 2 KD - MIN. FB= 1200 PSI.
11. ROOF OVERHANG DIMENSIONS ARE FROM FRAME WALL, FACE OF STUDS
12. PROVIDE WOOD BLOCKING AT WALL HUNG SINKS, HANDRAILS & POSSIBLE FUTURE GRAB BARS, ETC.
13. ALL CUTS, NOTCHES, OR DRILLED HOLES IN PRESSURE TREATED WOOD SHALL BE RETREATED IN THE FIELD ACCORDING TO AWPA M4 REQUIREMENTS.
14. ROOF SHEATHING SHALL BE EXPOSURE 1, C-D PLUGGED, STRU II APA RATED.
15. ALL PROTRUDING NAILS SHALL BE CLINCHED.
16. WOOD TRUSSES SHALL BE ERECTED IN ACCORDANCE WITH TRUSS PLATE INSTITUTE COMMENTARY AND RECOMMENDATIONS FOR BRACING WOOD TRUSSES. A COPY OF THIS DOCUMENT SHALL BE HAND DELIVERED TO THE ERECTOR BY THE TRUSS SUPPLIER, AT THE SITE BEFORE TRUSSES ARE ERECTED.
17. DESIGN LOAD CALCULATIONS:  
LIGHT FRAMING CONSTRUCTION PER SECTION 2308

ROOF:  
LIVE LOAD = 25 P.S.F.  
DEAD LOAD = 12 P.S.F.  
TOTAL LOAD = 37 P.S.F. X 40.75' MAX. ROOF SPAN = 754 P.L.F.

WALLS:  
DEAD LOAD = 5 P.S.F. X 8' HEIGHT X 2 = 80 P.L.F.

FOUNDATION:  
DEAD LOAD = 150 P.C.F. X 4.7 C.F. = 705 P.L.F.  
TOTAL LOAD = 1,539 P.L.F.

BEARING AREA OF ONE LIN. FT. OF 18" WIDE FOUNDATION = 1.50 S.F.

TOTAL LOAD 1,539 P.L.F. = 1,026 P.S.F.  
BEARING AREA 1.50 S.F.

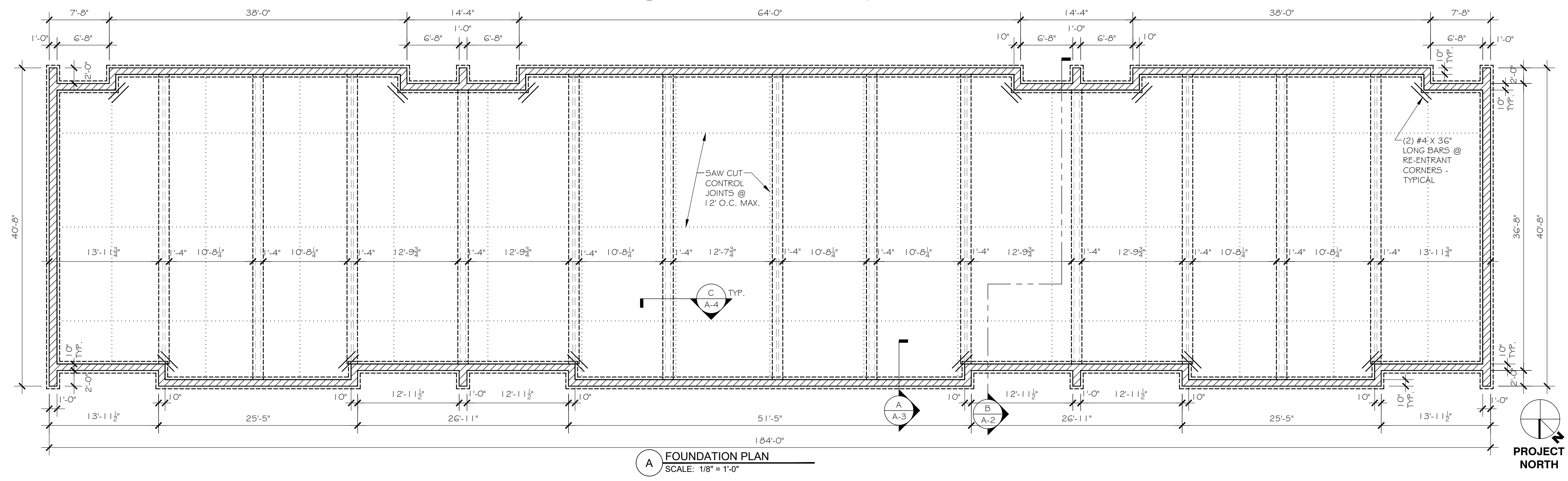
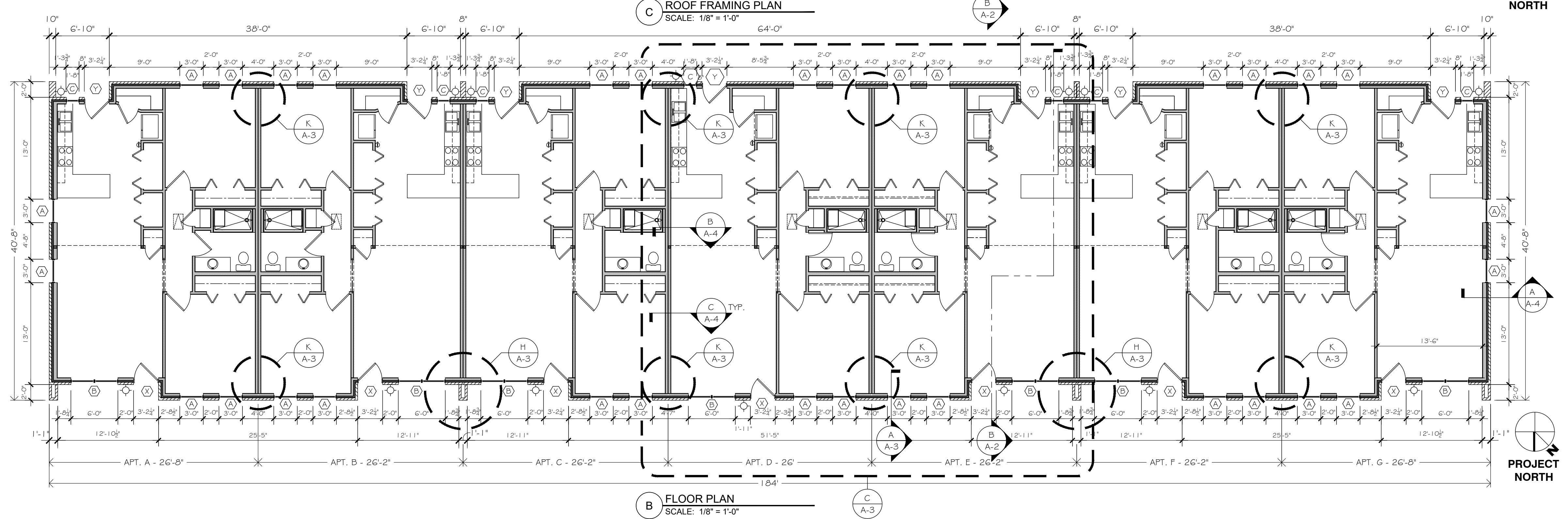
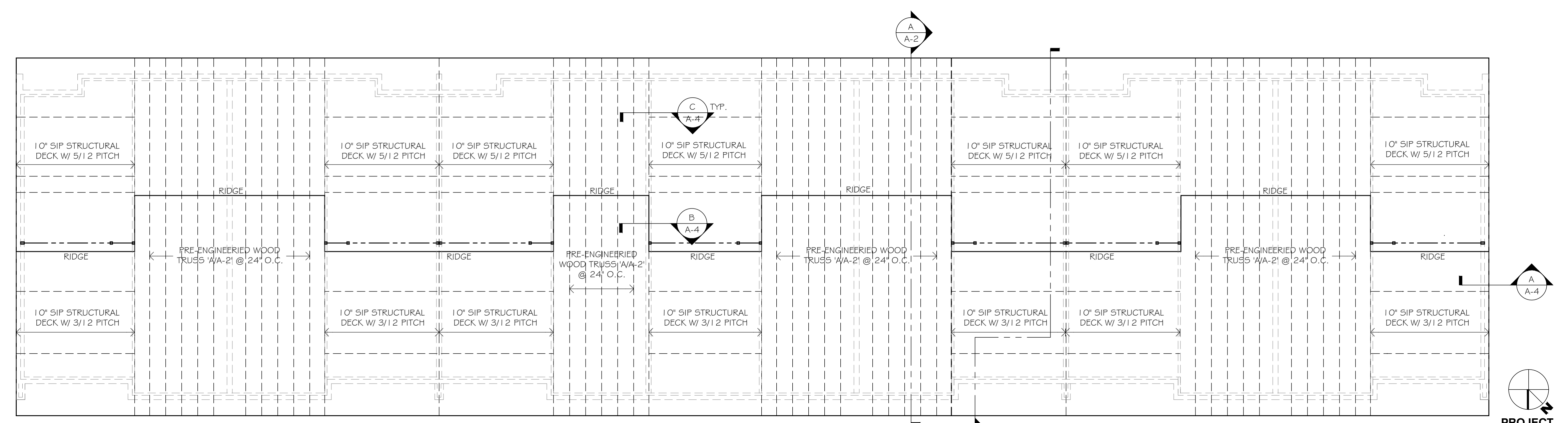
FACTOR OF SAFETY WITH MAXIMUM LOADING CONDITION =  
1500 P.S.F. = 1.46  
1026 P.S.F.

ROOF SNOW LOAD:  
GROUND SNOW LOAD, P<sub>g</sub> = 20 P.S.F.

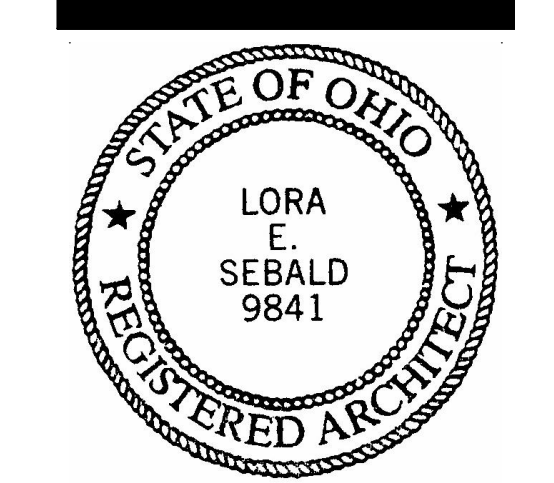
WIND LOAD:  
BASIC WIND SPEED = 115 M.P.H., 3 SEC. GUST  
WIND EXPOSURE = B

EARTHQUAKE LOAD:  
SITE CLASS = D (Assumed)  
SEISMIC DESIGN CATEGORY = B

- LEGEND:
- EXTERIOR WALL W/ 4" BRICK VENEER OVER 2 X 4 WOOD STUDS @ 16" O.C. EXCEPT AS NOTED OTHERWISE ON END WALLS
  - C.M.U. FOUNDATION WALL
  - 4" BRICK
  - INTERIOR 2 X 4 WOOD STUDS @ 16" O.C.
  - INTERIOR 2 X 6 WOOD STUDS @ 16" O.C.
  - DOUBLE WOOD STUD DEMISING WALL BETWEEN UNITS W/ 1-HOUR FIRE RATING. SEE SECTIONS FOR DETAIL
  - 22" X 30" MIN. ATTIC ACCESS PANEL
  - FIRE EXTINGUISHER IN LOCATIONS AND OF TYPE, SIZE & CLASSIFICATION AS APPROVED BY THE FIRE CHIEF. TYPICAL LOCATIONS SHOWN ON ENLARGED PLAN C/A3



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lora@sebaldarchitects.com



Lora E Sebald, License #9841  
Expiration Date: 12/31/25

NEW 7-UNIT APARTMENT BUILDING FOR:  
**MIRALI**  
LOT 4096 REDBLUFF DRIVE  
West Carrollton, Ohio

PROJECT NO.

170610

ISSUED

PLANNING 5-29-18  
PERMIT SET 8-15-18  
RE-ISSUED 2-23-24  
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SHEET TITLE

FLOOR PLANS

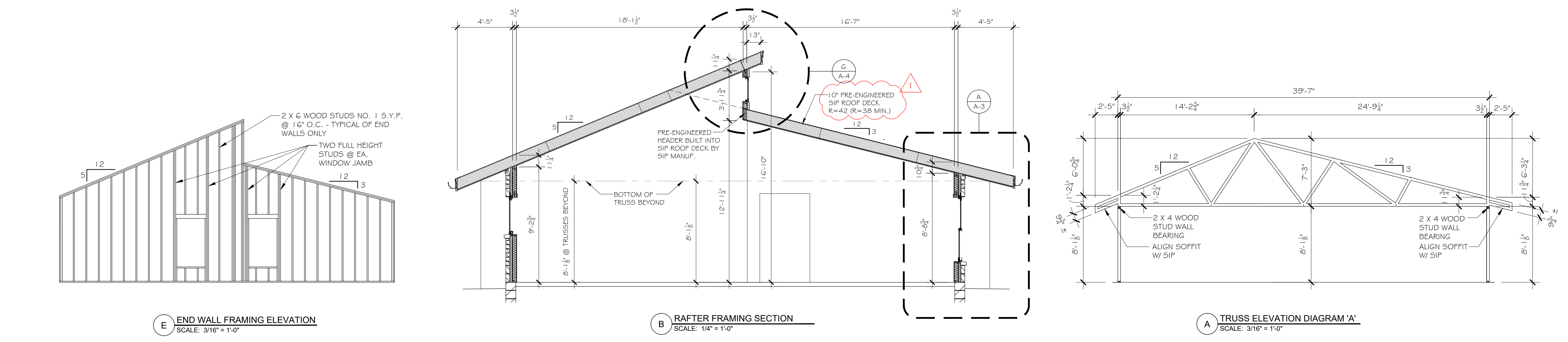
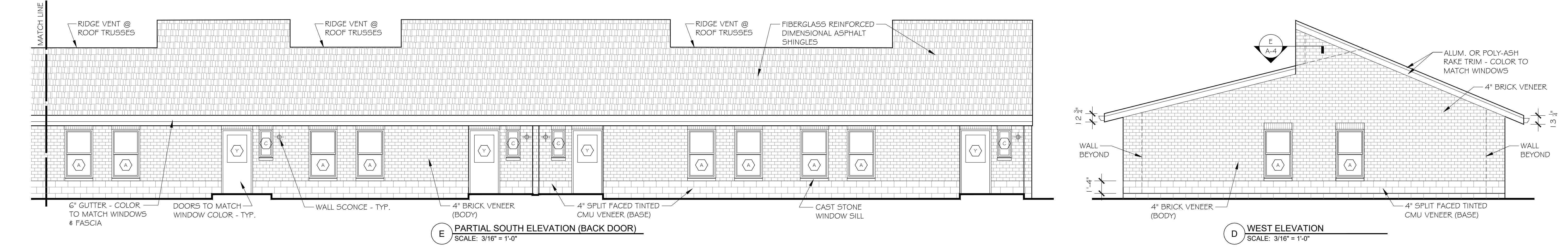
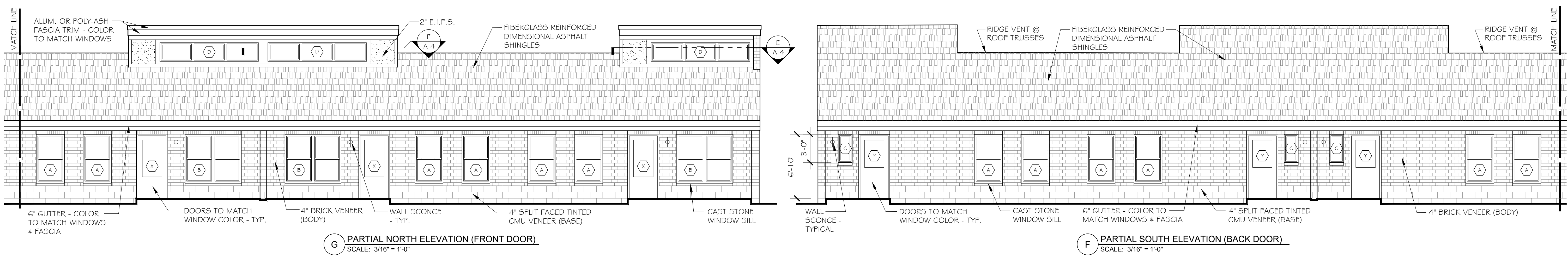
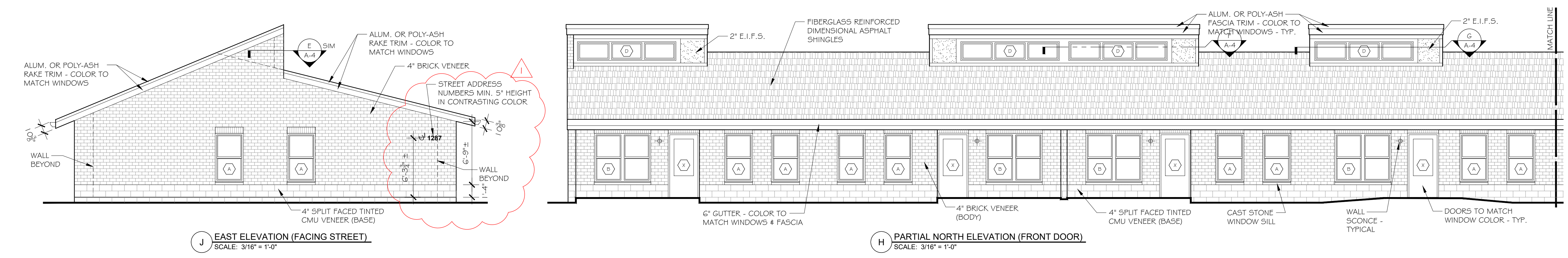
SHEET NO.

**A-1**





Lora E. Sebald, License #9841  
Expiration Date: 12/31/25



NEW 7-UNIT APARTMENT BUILDING FOR:  
**MIRALI**  
LOT 4096 REDBLUFF DRIVE  
West Carrollton, Ohio

PROJECT NO.

170610

ISSUED

PLANNING 5-29-18  
PERMIT SET 8-15-18  
RE-ISSUED 2-23-24  
REVISION #1 4-30-24

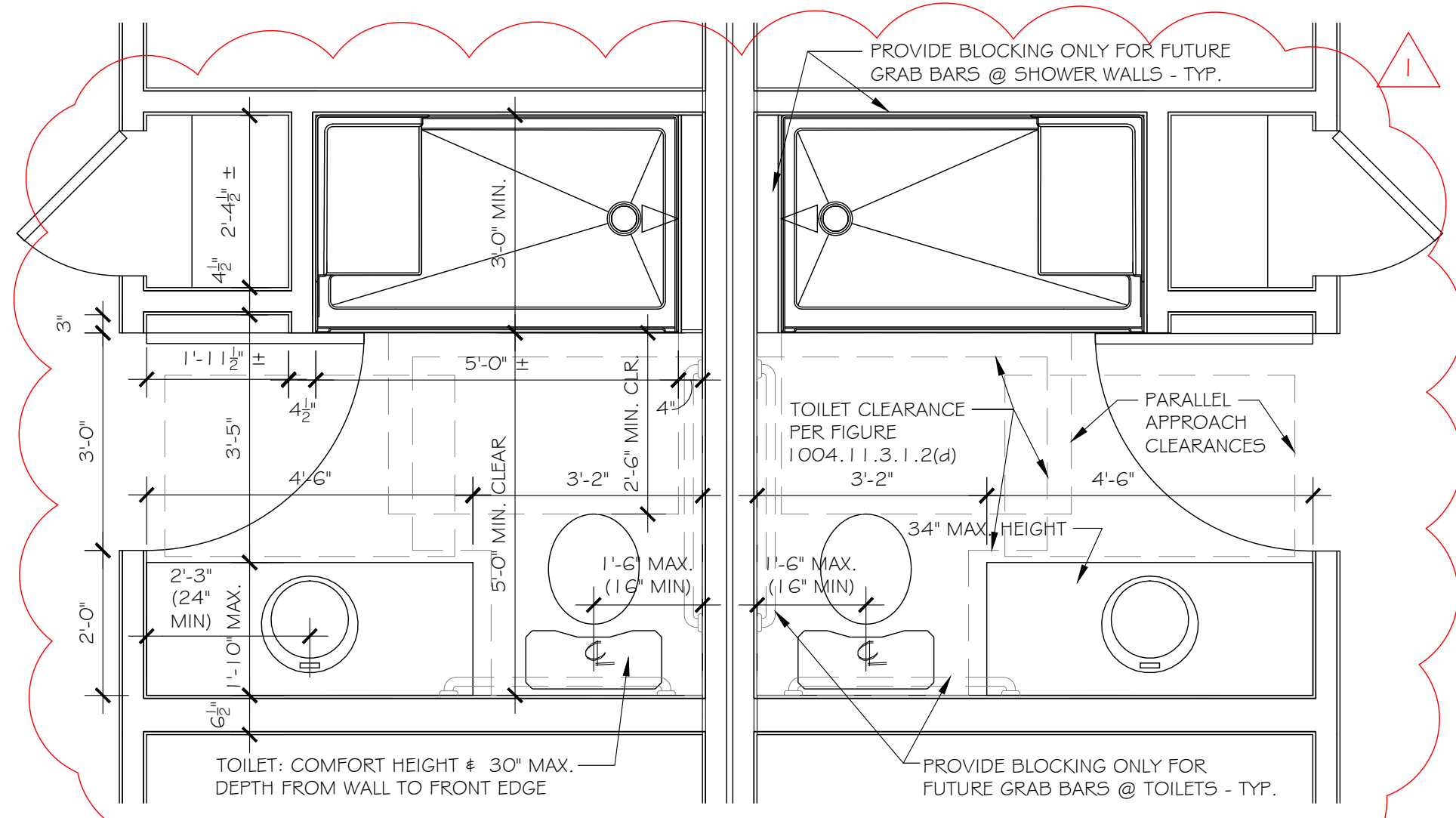
SHEET TITLE

EXTERIOR  
ELEVATIONS /  
FRAMING SECTIONS

SHEET NO.

**A-2**

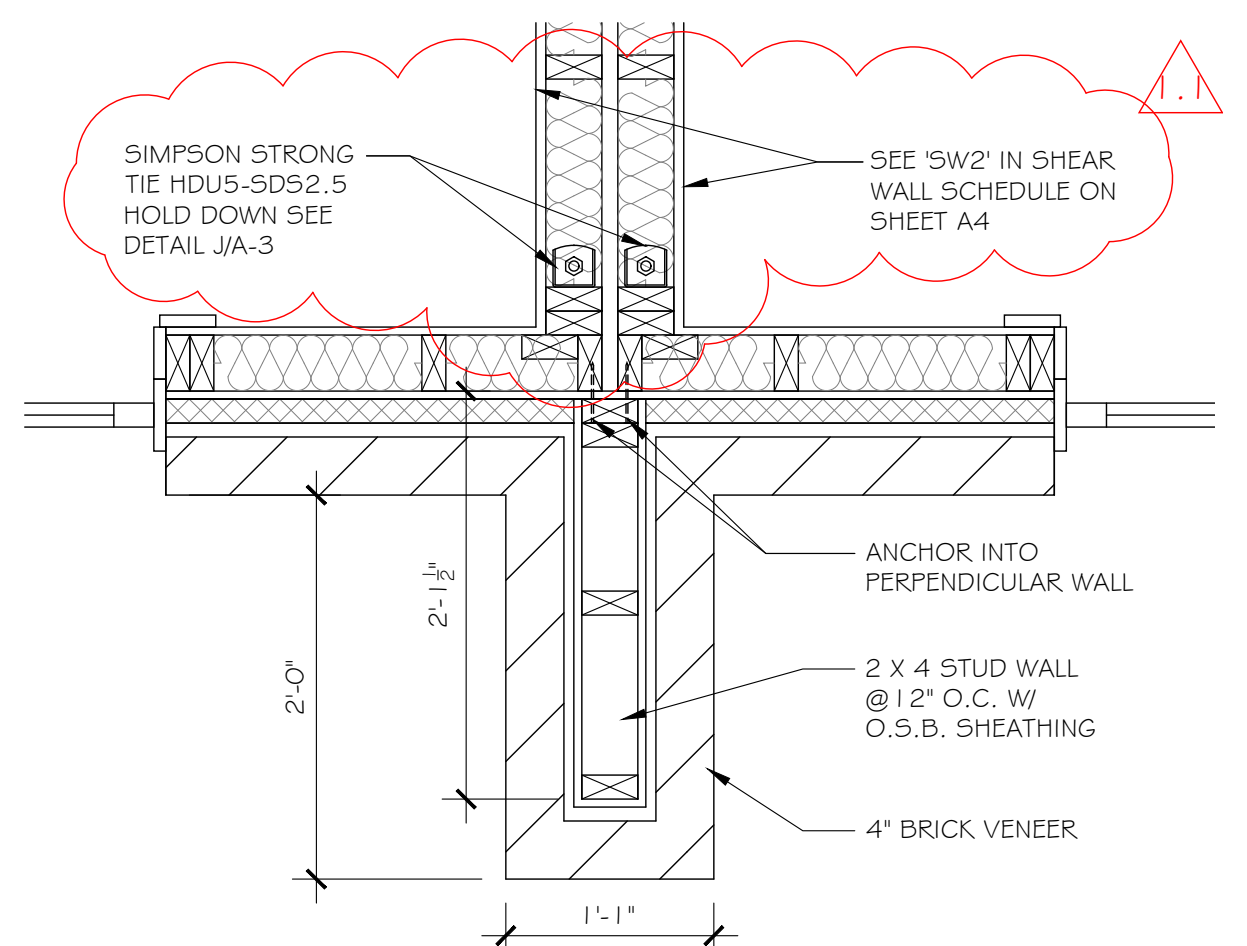




**L** TYPICAL BATHROOM PLAN DETAIL  
SCALE: 1/2" = 1'-0" NOTE: ALL DIMENSIONS ARE SHOWN TO FINISH

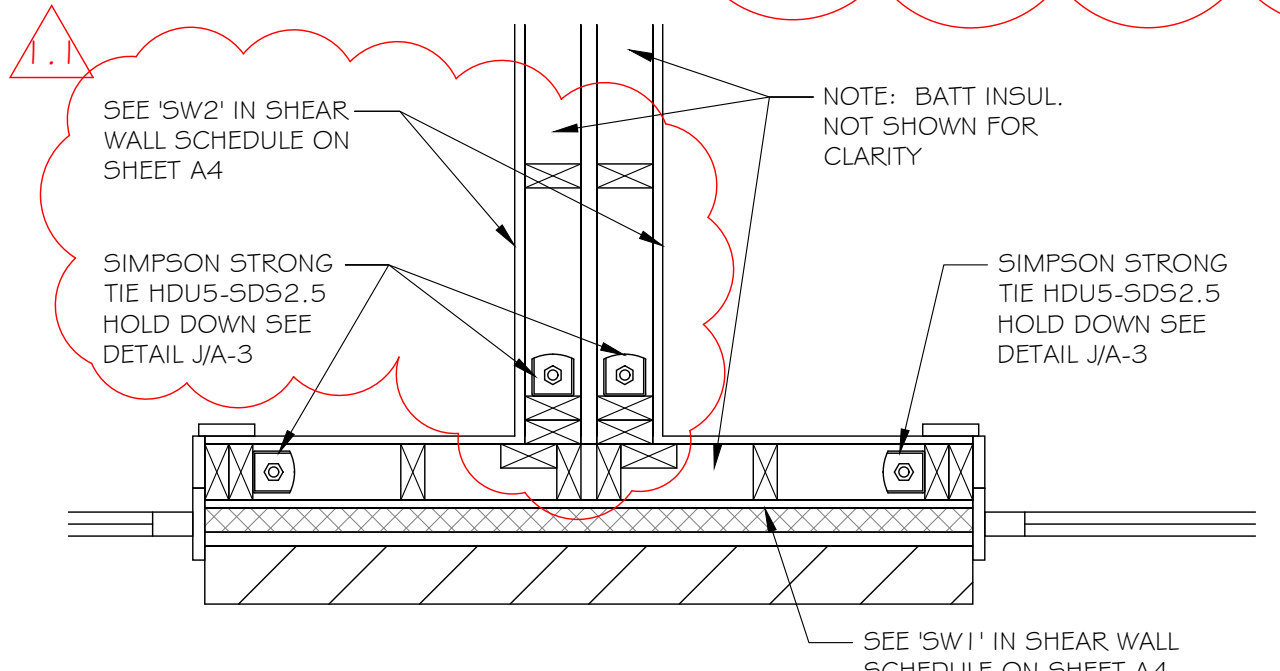
RM. NO.	ROOM NAME	ROOM FINISH SCHEDULE						HEIGHT	REMARKS
		CARPET	CERAMIC TILE	VINYL	CONCRETE	WOOD	TILE COVE		
01	GREAT ROOM	X							VARIES
02	KITCHEN		X	X	X	X	X		VARIES
03	PANTRY		X	X	X	X	X	8'-0"	
04	LAUNDRY		X	X	X	X	X	8'-0"	
05	MECHANICAL CLOSET		X	X		X	X	8'-0"	
06	COAT CLOSET	X						8'-0"	
07	HALL	X				X	X	8'-0"	
08	BEDROOM		X	X	X	X	X	8'-0"	
09	CLOSET	X				X	X	8'-0"	
10	BATHROOM	X			X	X	X	8'-0"	ALTERNATE FOR VINYL
11	BEDROOM	X			X	X	X	8'-0"	
12	CLOSET	X			X	X	X	8'-0"	
13	LINEN CLOSET	X			X	X	X	8'-0"	

NOTE: TYPICAL ROOM FINISH SCHEDULE FOR ALL SEVEN UNITS

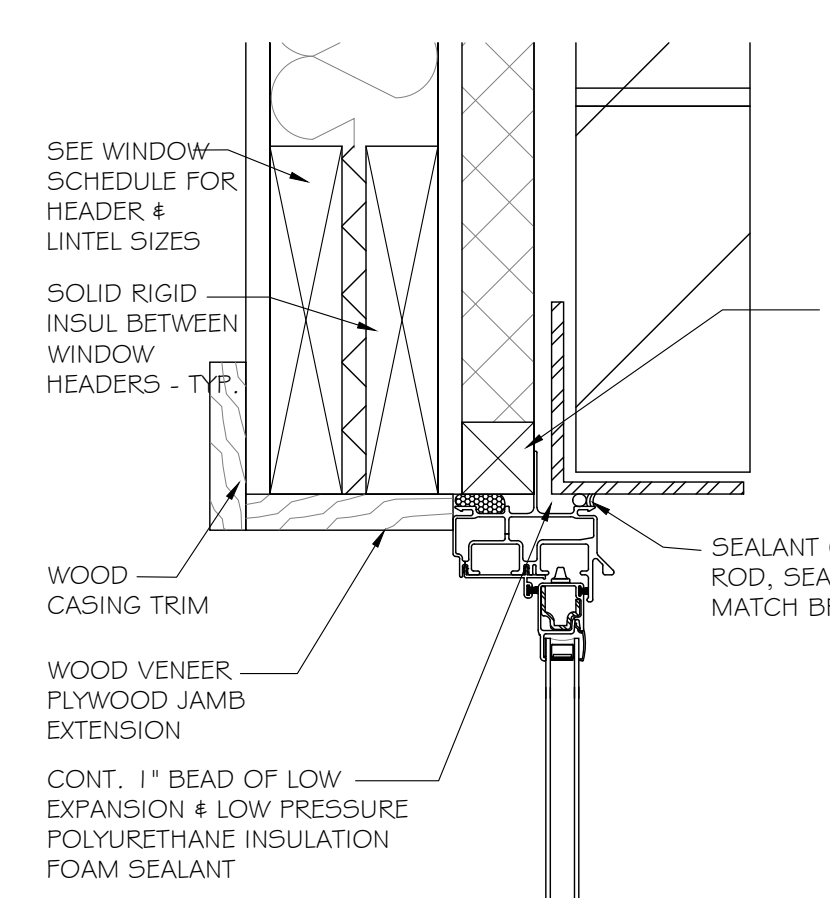


**J** STRUCTURAL DETAIL  
N.T.S.

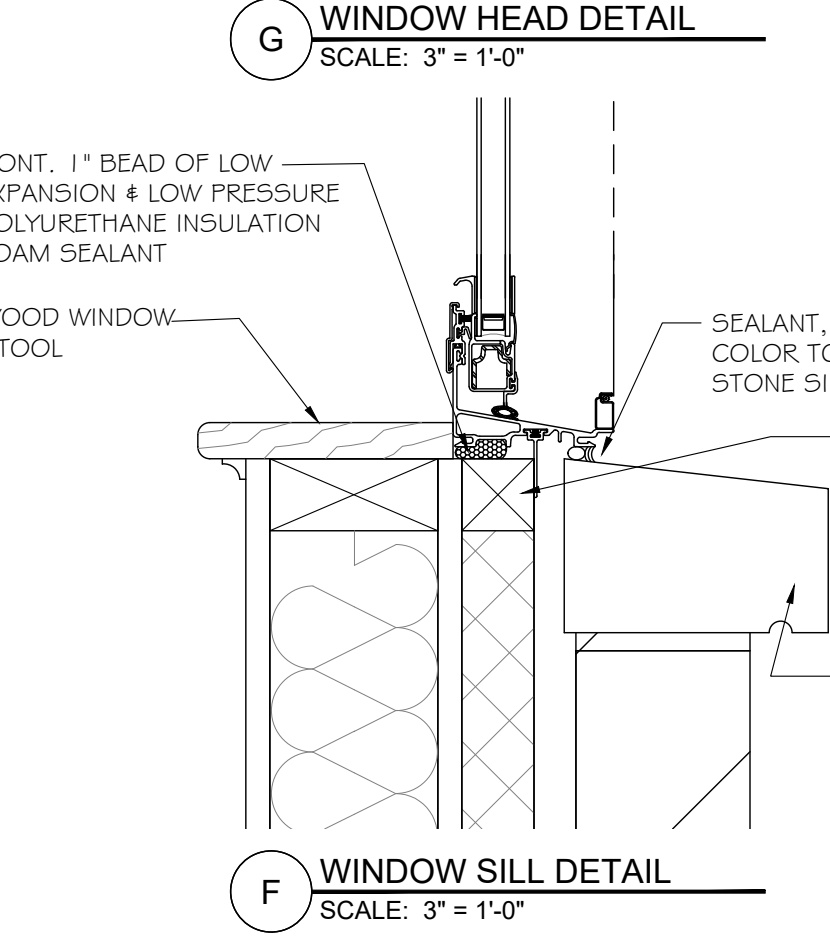
**H** PLAN DETAIL  
SCALE: 1" = 1'-0"



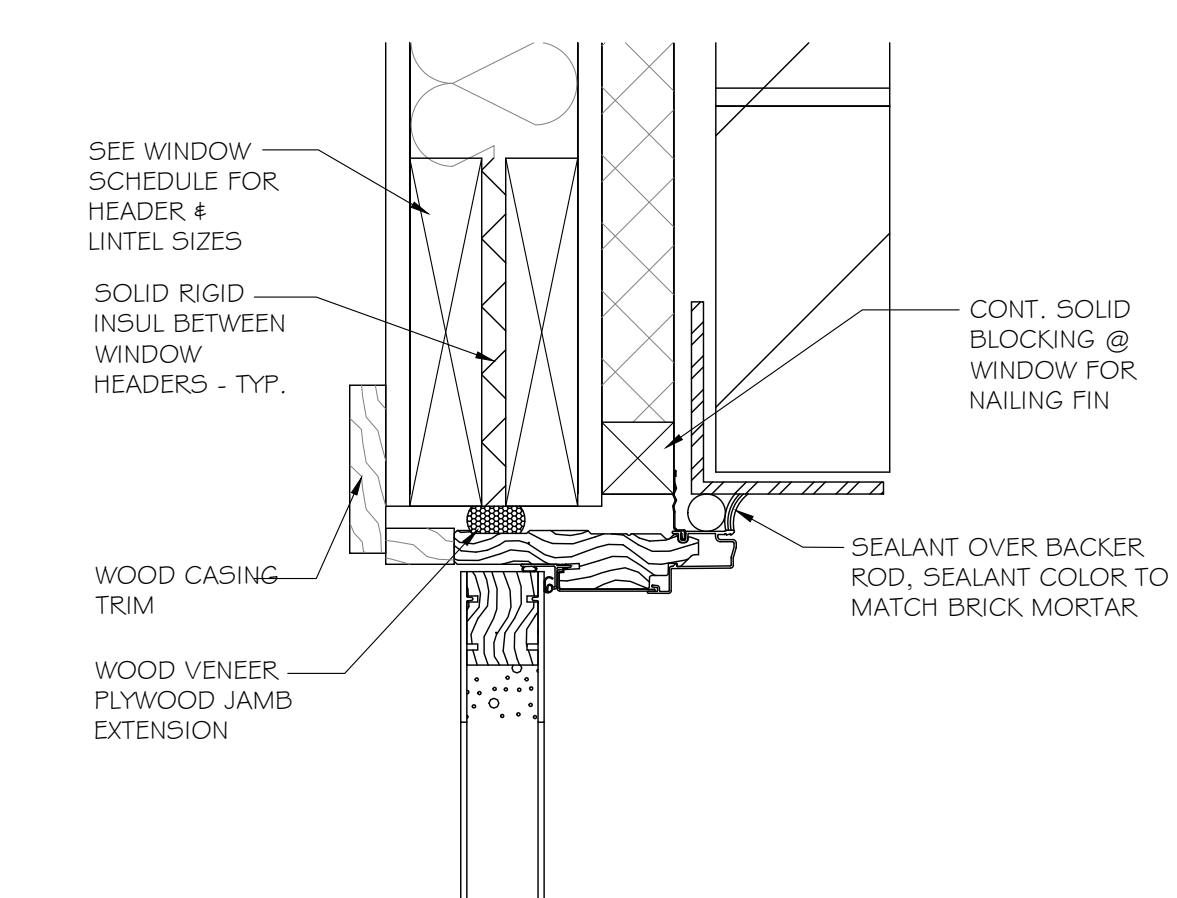
**K** PLAN DETAIL  
SCALE: 1" = 1'-0"



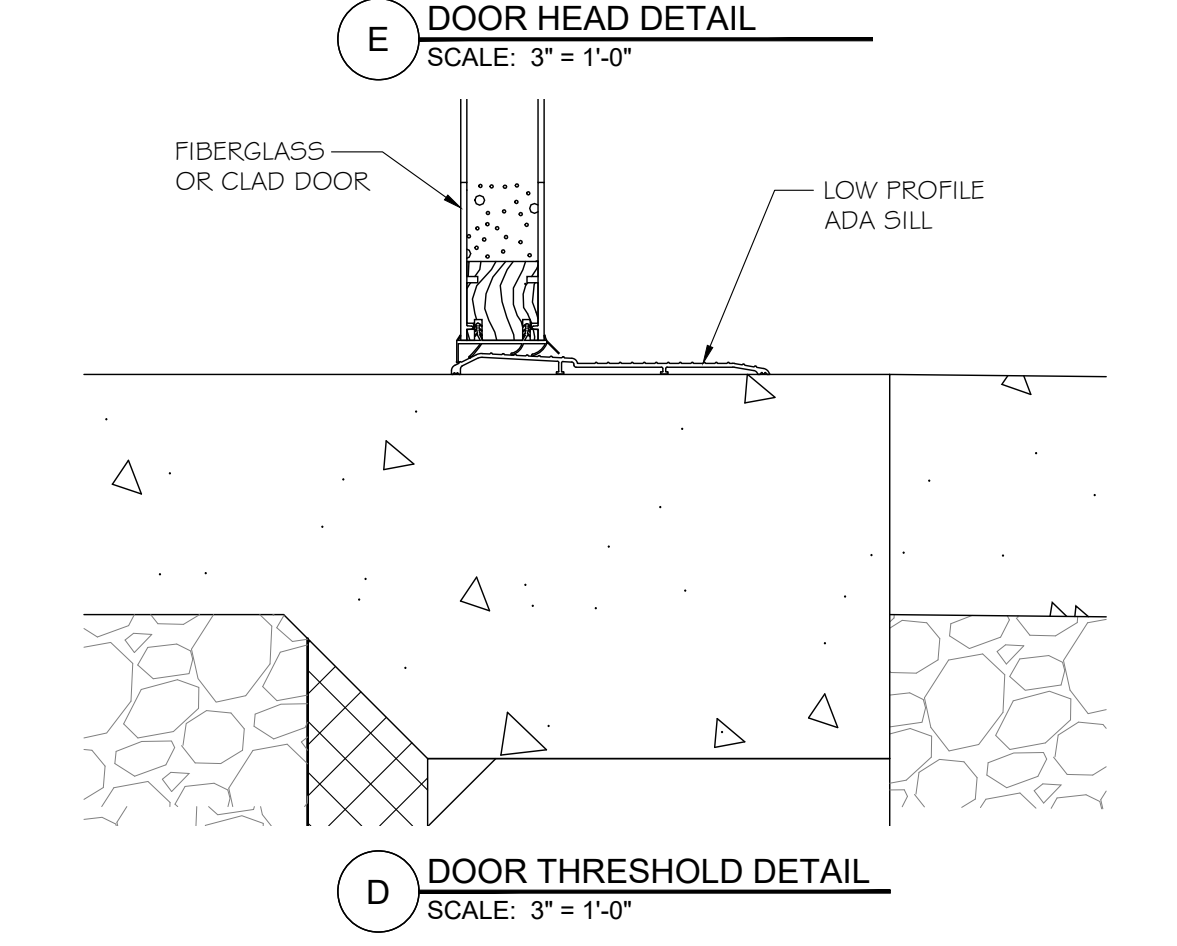
**G** WINDOW HEAD DETAIL  
SCALE: 3" = 1'-0"



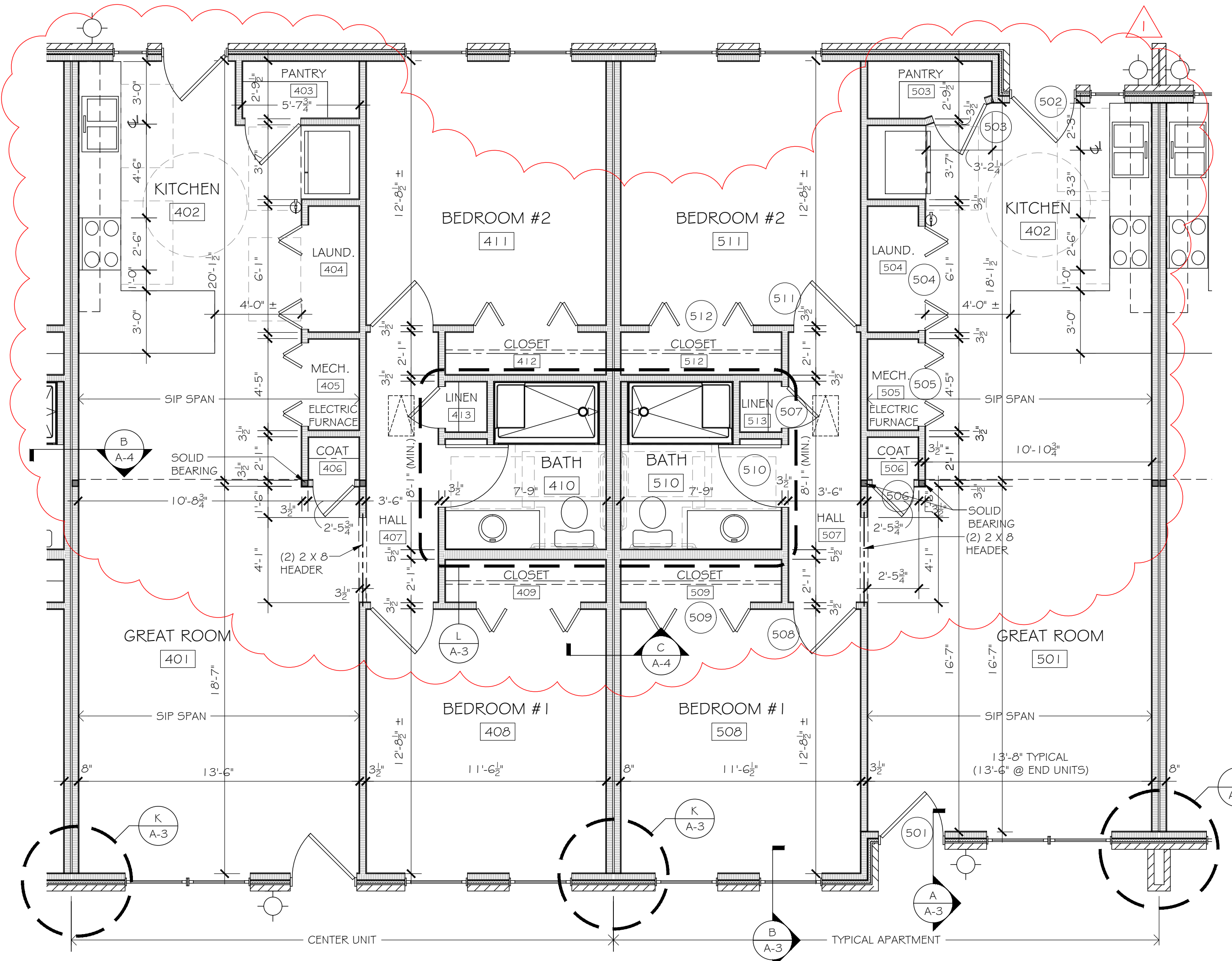
**F** WINDOW SILL DETAIL  
SCALE: 3" = 1'-0"



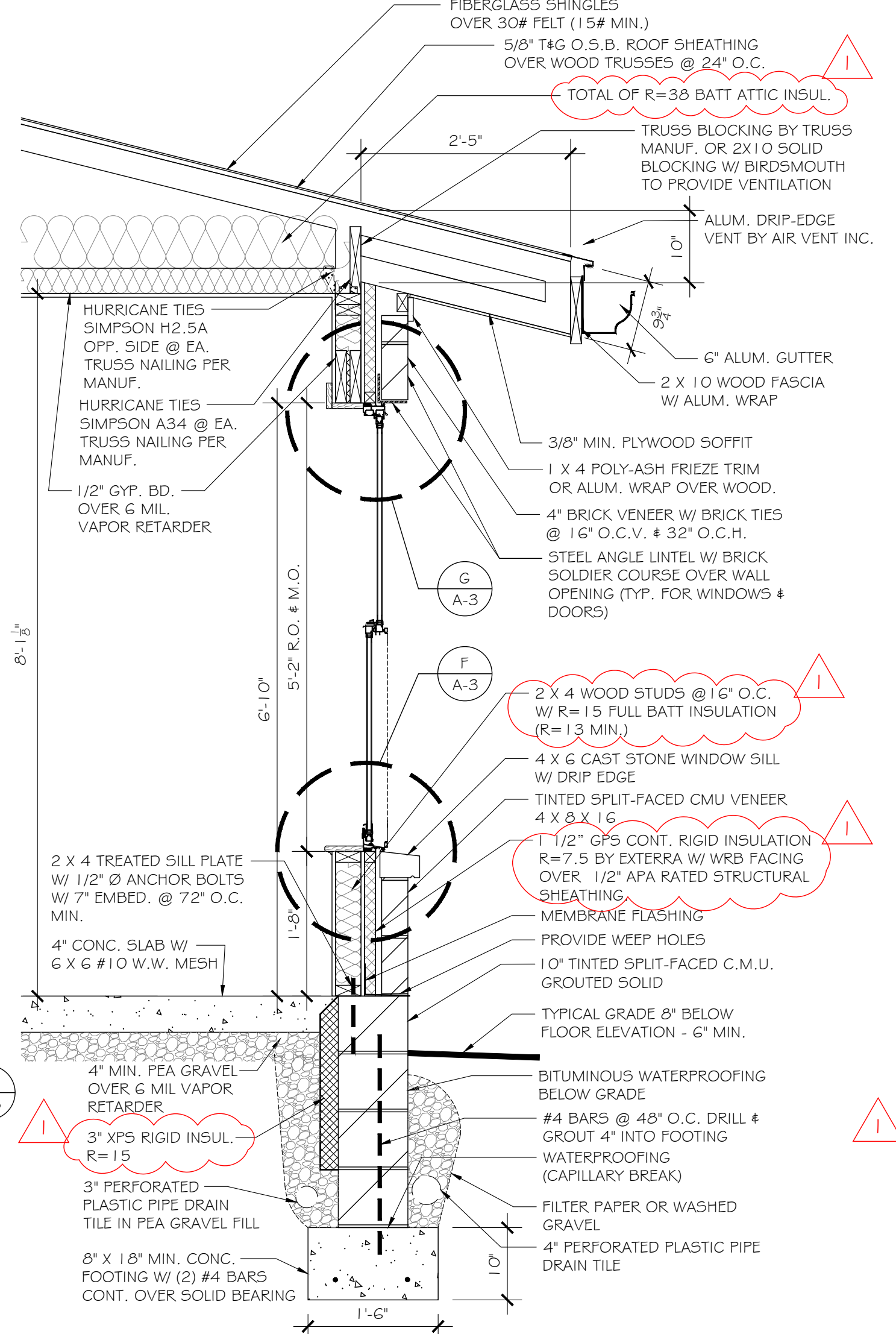
**E** DOOR HEAD DETAIL  
SCALE: 3" = 1'-0"



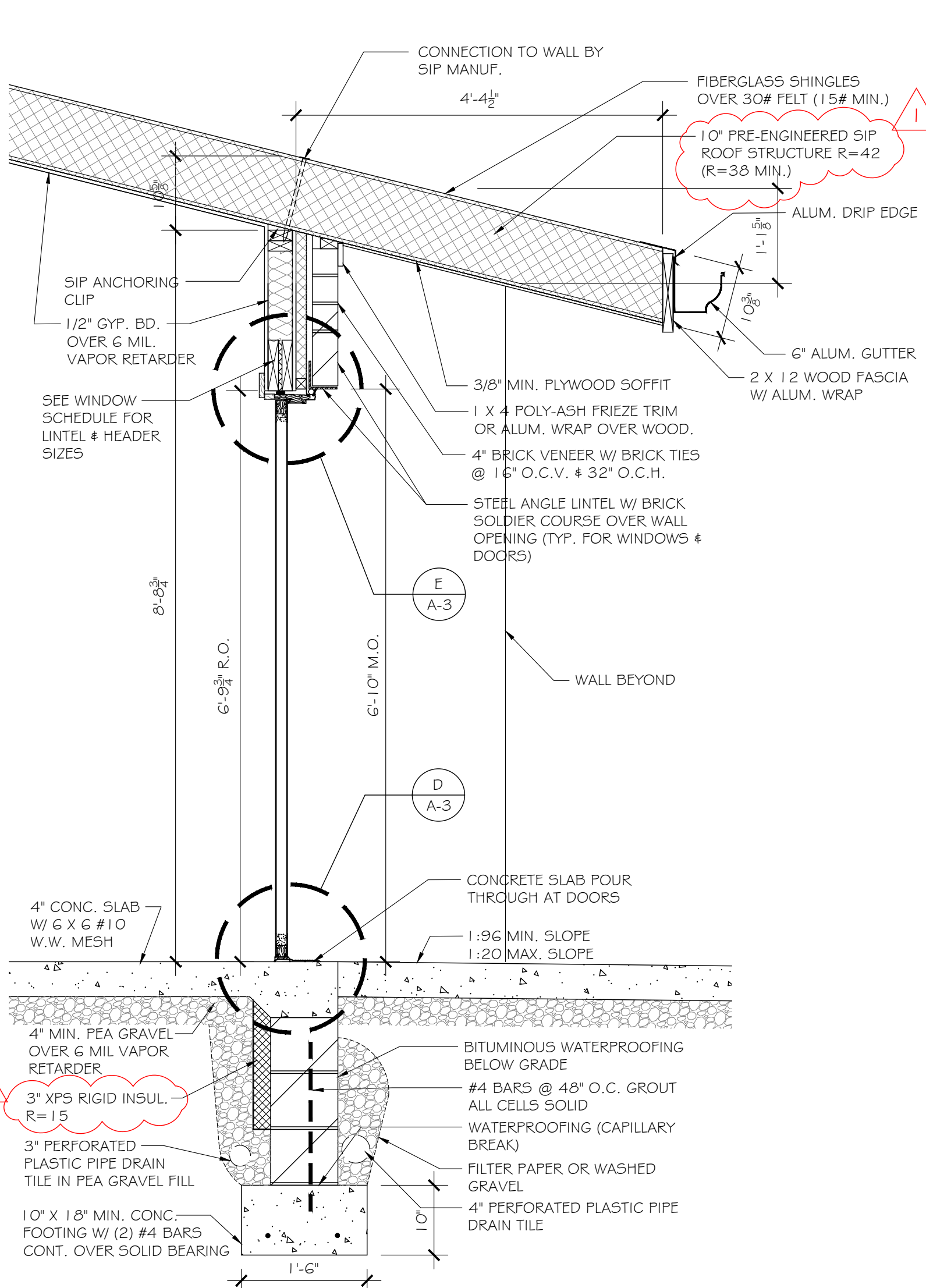
**D** DOOR THRESHOLD DETAIL  
SCALE: 3" = 1'-0"



**C** TYPICAL FLOOR PLANS  
SCALE: 1/4" = 1'-0"



**B** TYPICAL WALL SECTION @ TRUSS  
SCALE: 1/2" = 1'-0"



**A** WALL SECTION @ SIP PANEL ROOF  
SCALE: 1/2" = 1'-0"

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Lora E Sebold, License #9841  
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SHEET TITLE

SECTIONS / DETAILS / PLAN DETAIL

SHEET NO.

**A-3**



SHEAR WALL SCHEDULE 1,2					
MARK	APA RATED SHEATHING	SHEATHING ATTACHMENT	SILL ANCHOR BOLTS	MINIMUM END-POST	HOLD-DOWN CONNECTOR
SW1	15/32" ONE SIDE	8d NAILS AT 6" o.c. AT EDGES, 12" o.c. INTERMEDIATE	1/2" A.B. AT 6"-0" o.c.	DBL. 2x No.1 S.Y.P. STUDS	SIMPSON HDU5-SDS2.5 w/ 5/8" A.B. DRILLED & EPOXIED, MIN. 12" EMBED.
SW2	5/8" GYPSUM SHEATHING	No.6 Type S or W drywall screws x 1-1/4" long. 8" o.c. AT EDGES, 12" o.c. INTERMEDIATE	1/2" A.B. AT 6"-0" o.c.	DBL. 2x No.1 S.Y.P. STUDS	SIMPSON HDU5-SDS2.5 w/ 5/8" A.B. DRILLED & EPOXIED, MIN. 7" EMBED.

1 - BLOCKING IS REQUIRED BETWEEN STUDS AT ALL PANEL EDGES  
 2 - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON THE PLANS. ENDS OF FULL HEIGHT WALLS ARE DESIGNATED BY EXTERIOR OF THE BUILDING, CORRIDORS, WINDOWS, OR DOORWAYS, OR AS DESIGNATED ON PLANS.

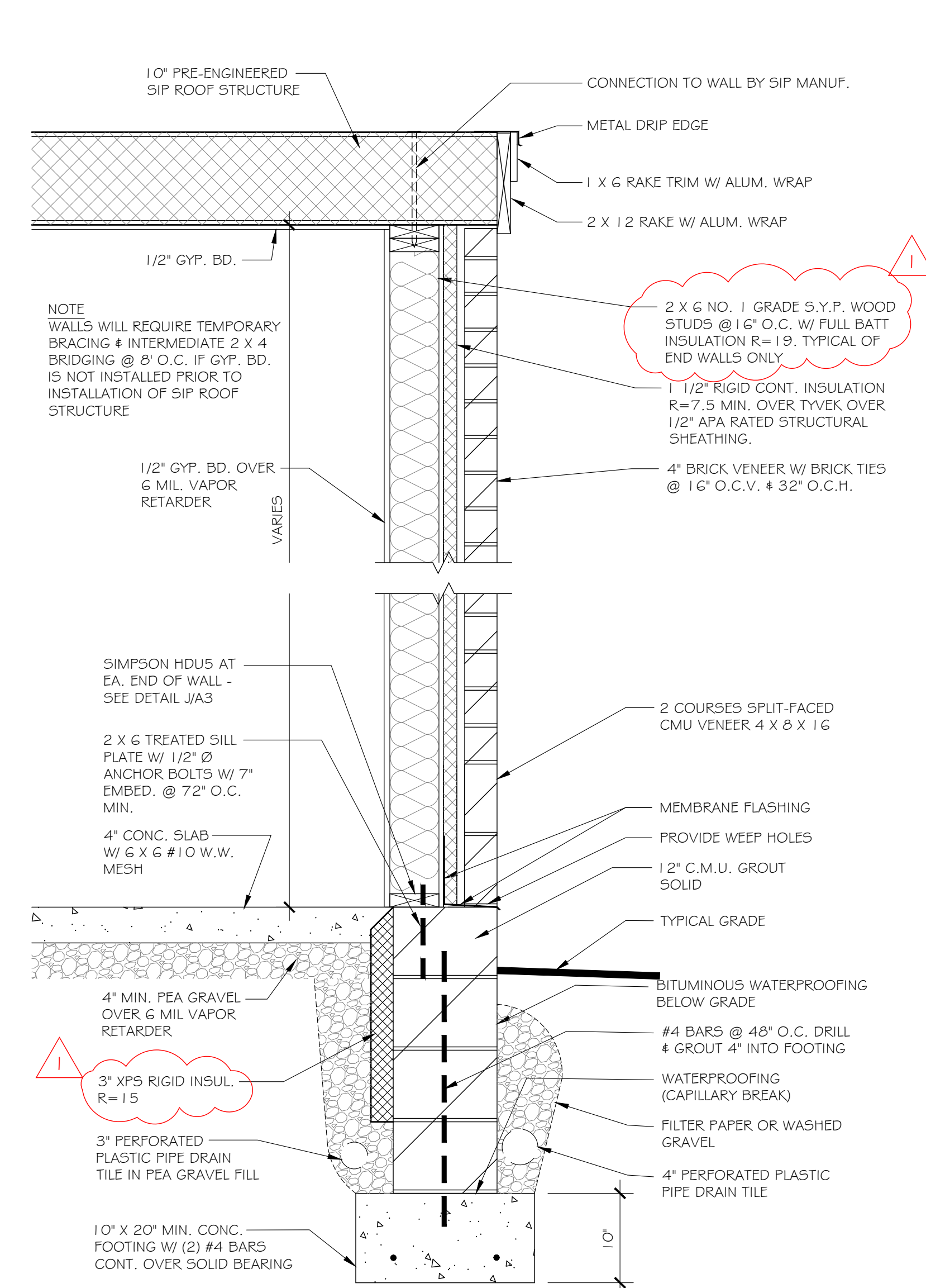
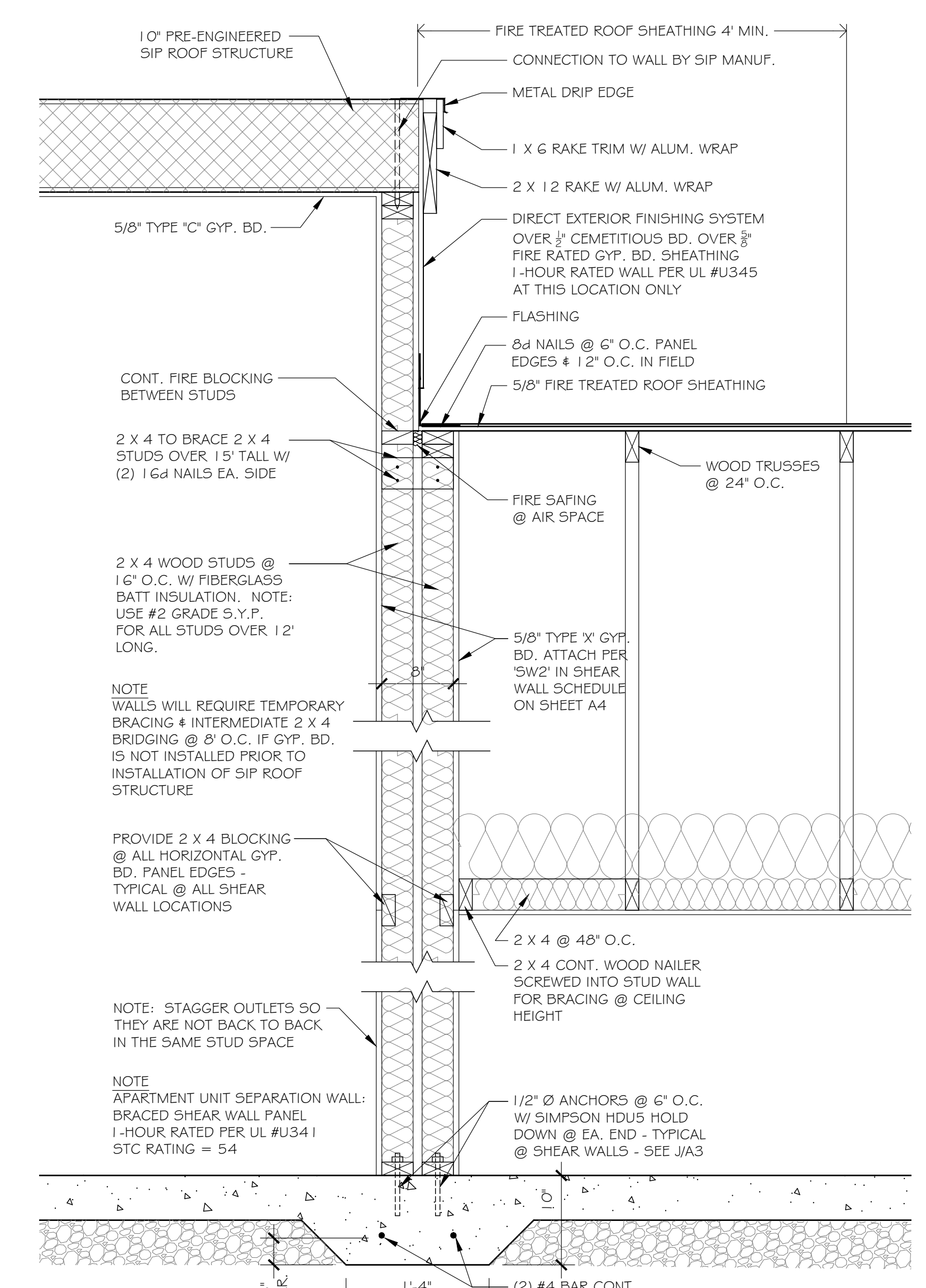
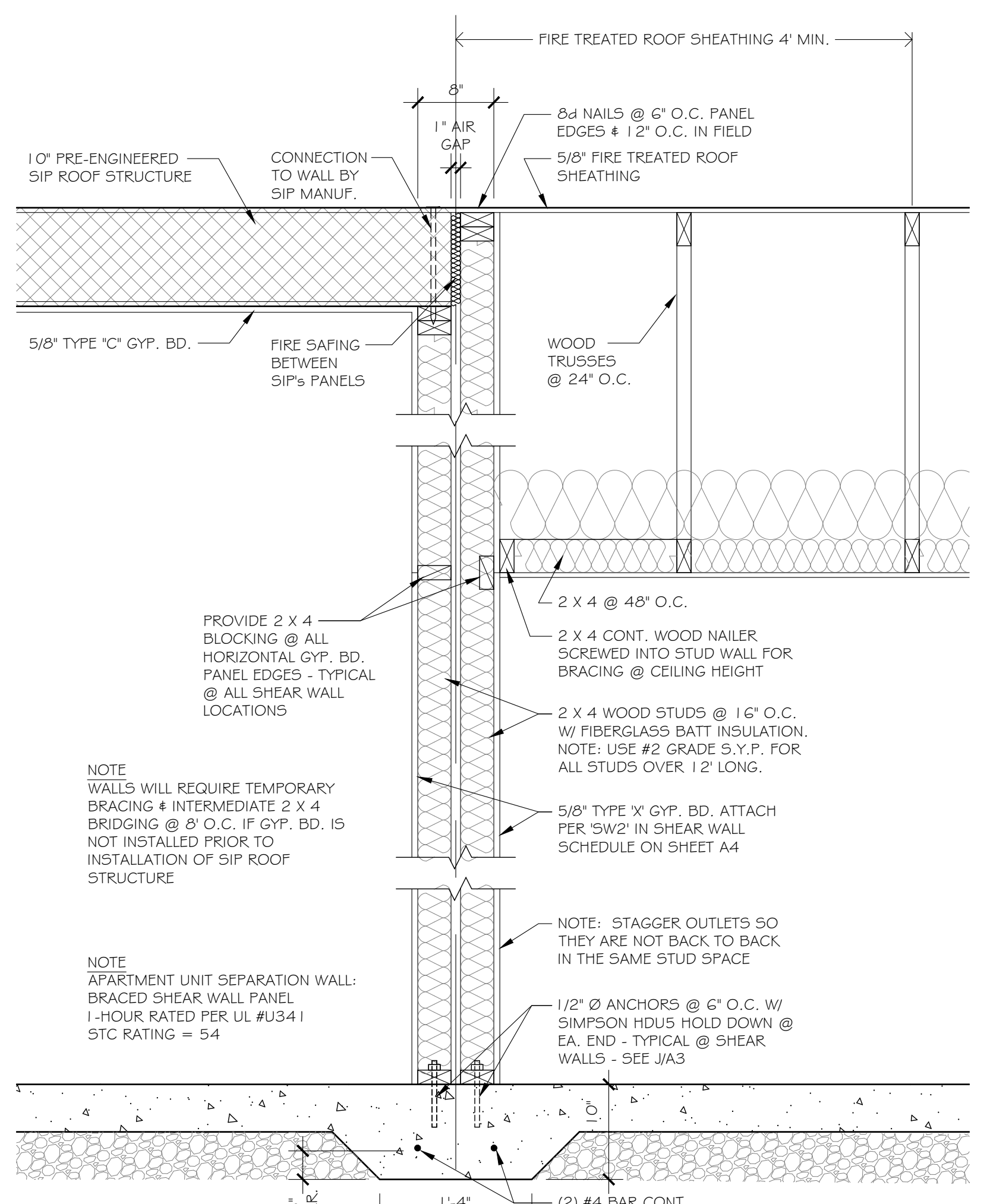
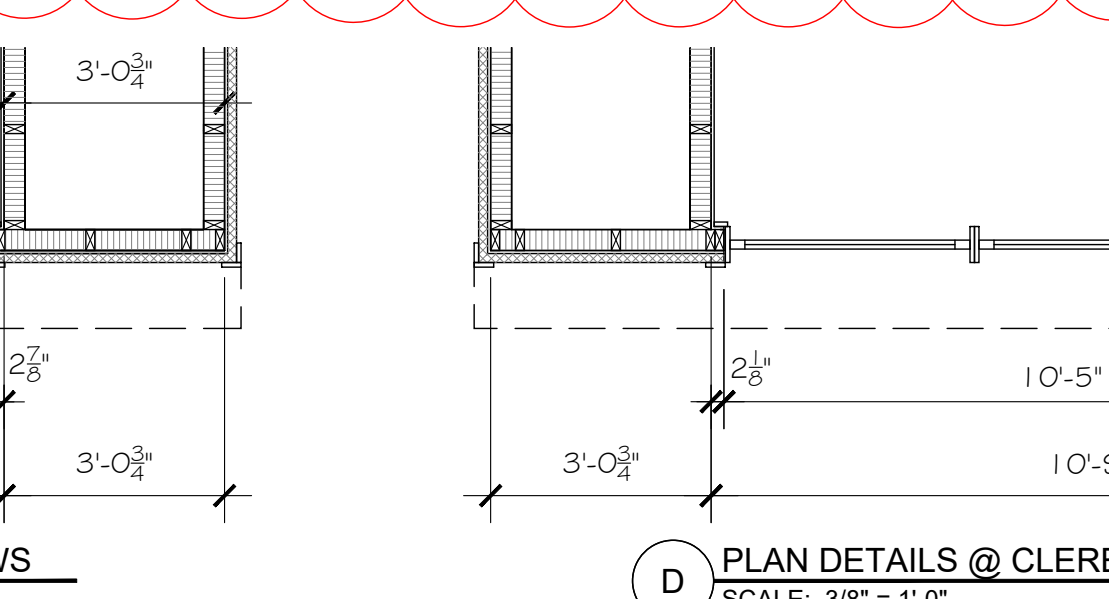
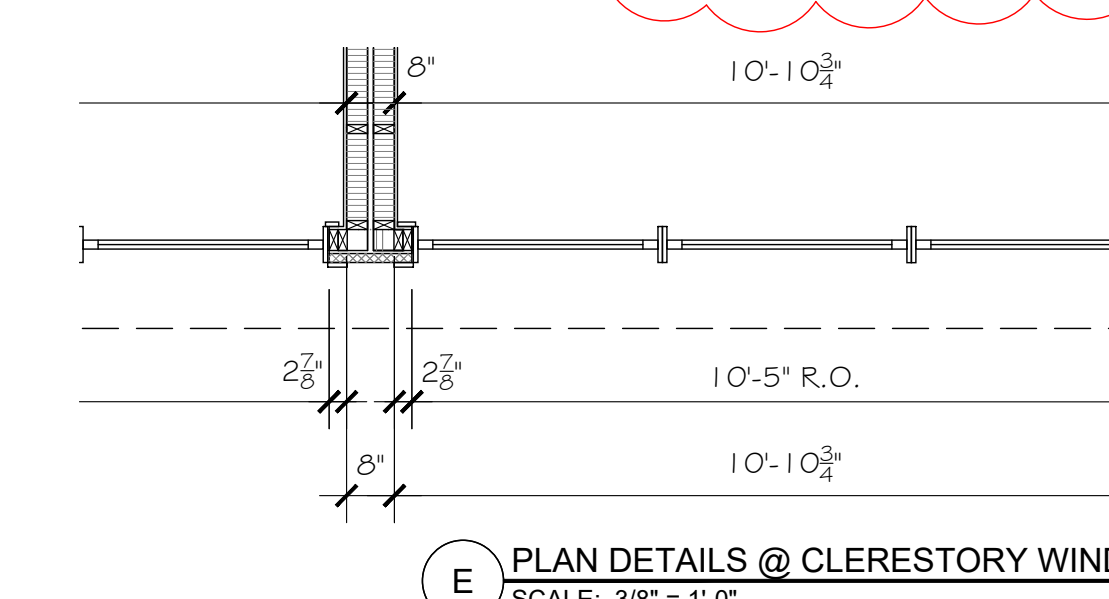
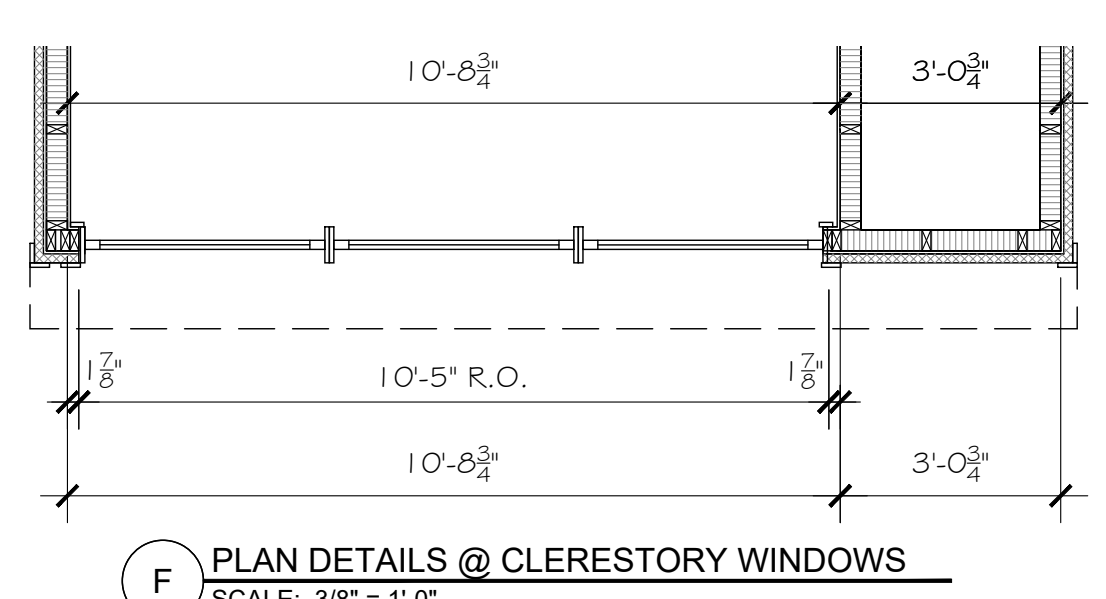
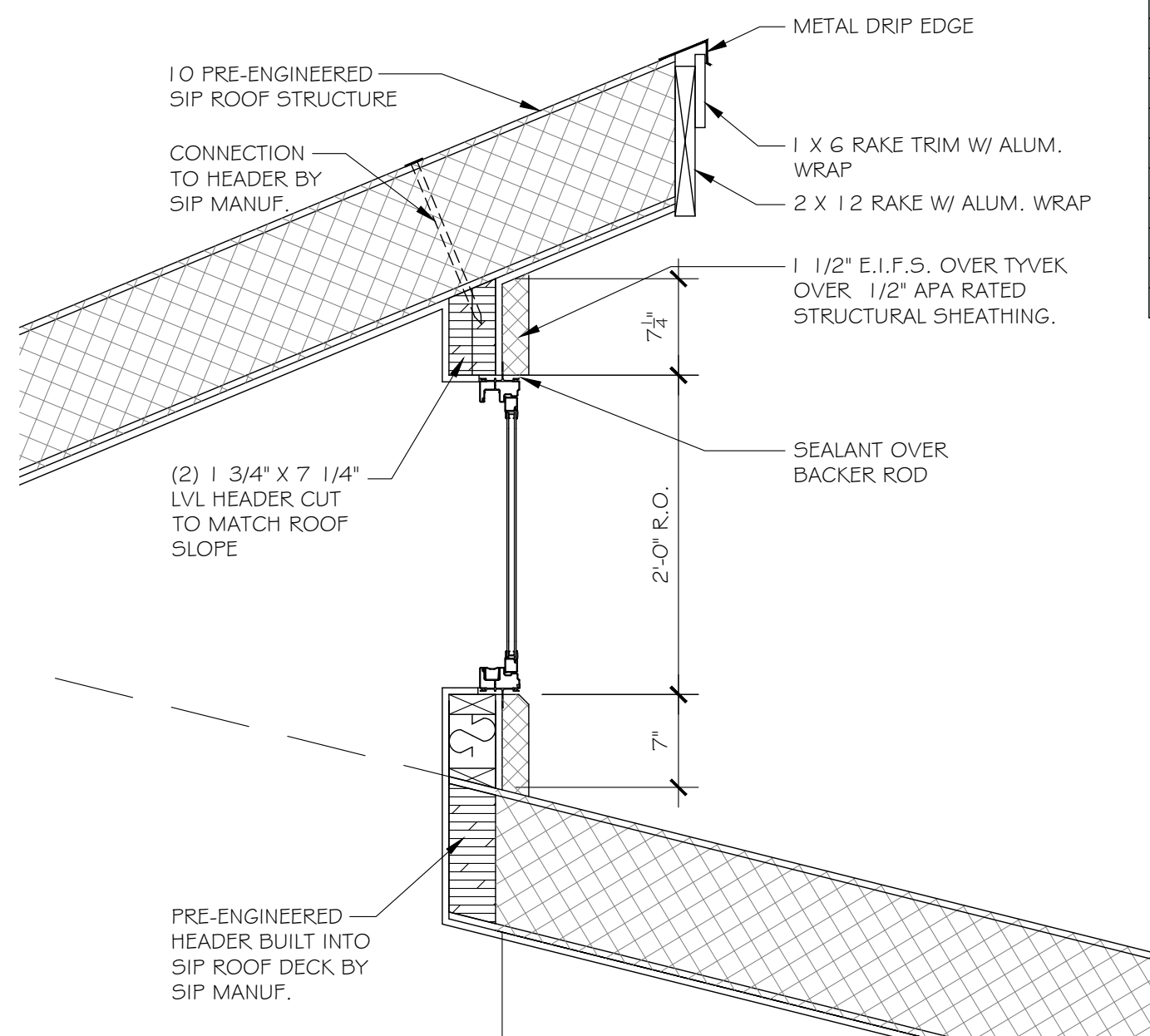
DOOR SCHEDULE									
Door Number	DOOR Width	DOOR Height	DOOR Door Thickness	Fire Rating	DOOR Material	Type	Hardware	FRAME Material	Remarks
501	3'-0"	6'-8"	1 3/4"	-	CLAD	PELLA ENTRY ENTRANCE	ENTRANCE	WD.	See pella door & window sched.
502	3'-0"	6'-8"	1 3/4"	-	CLAD	PELLA ENTRY ENTRANCE	ENTRANCE	WD.	See pella door & window sched.
503	2'-8"	6'-8"	1 3/4"	-	WOOD	INT. FLUSH PASSAGE	-	WD.	-
504	5'-0"	6'-8"	1 3/8"	-	WOOD	PAIR BI-FOLD	-	WD.	-
505	4'-0"	6'-8"	1 3/8"	-	WOOD	PAIR BI-FOLD	-	WD.	-
506	2'-0"	6'-8"	1 3/4"	-	WOOD	INT. FLUSH PASSAGE	-	WD.	-
507	2'-0"	6'-8"	1 3/4"	-	WOOD	INT. FLUSH PASSAGE	-	WD.	Provide (2) 2 x 6 header
508	3'-0"	6'-8"	1 3/4"	-	WOOD	INT. FLUSH PRIVACY	-	WD.	-
509	5'-0"	6'-8"	1 3/8"	-	WOOD	PAIR BI-FOLD	-	WD.	-
510	3'-0"	6'-8"	1 3/4"	-	WOOD	INT. FLUSH PRIVACY	-	WD.	-
511	3'-0"	6'-8"	1 3/4"	-	WOOD	INT. FLUSH PRIVACY	-	WD.	-
512	5'-0"	6'-8"	1 3/8"	-	WOOD	PAIR BI-FOLD	-	WD.	-

NOTE: TYPICAL DOOR SCHEDULE FOR ALL SEVEN UNITS

PELLA IMPERVIA SERIES WINDOW SCHEDULE											
Mark	Type	Window Size	Rough Opening	Frame Size	Glazing Type	Assembly U-value	Color	Structural Header	Brick Lintel	Remarks	
A	DOUBLE-HUNG	3'-0/5'-2	3'-0" x 5'-2"	2'-11 1/2" x 5'-1 1/2"	1 1/16" Advanced Low-E IG w/ Argon fill	0.31	Brown	(2) 2 X 6	L 4 X 4 X 1/4"	EGRESS WINDOWS REQUIRED 5.0 SQ. FT. MIN. OPENING AREA	
B	DOUBLE-HUNG	(2) 3'-0/5'-2	5'-11 1/2" x 5'-2"	5'-11 1/2" x 5'-1 1/2"	1 1/16" Advanced Low-E IG w/ Argon fill	0.31	Brown	(2) 2 X 10	L 4 X 4 X 1/4"	2 UNITS MULLED TOGETHER	
C	CASEMENT	1'-6/3'-0	1'-6" x 3'-0"	1'-5 1/2" x 2'-11 1/2"	1 1/16" Advanced Low-E IG w/ Argon fill	0.30	Brown	(2) 2 X 6	L 4 X 4 X 1/4"	VENT UNIT	
D	FIXED	(3) 3'-6/2'-0	10'-5" x 2'-0"	10'-4 1/2" x 1'-11 1/2"	1 1/16" Advanced Low-E IG w/ Argon fill	0.29	Brown	(2) 1 3/4" x 7 1/4" LVL W/ BEVELED TOP	N/A	CLERESTORY WINDOWS - 3 UNITS MULLED TOGETHER	

PELLA DOOR SCHEDULE										
Mark	Type	Door Size	Rough Opening	Frame Size	Glazing Type	Assembly U-value	Color	Structural Header	Brick Lintel	REMARKS
X	3/4 GLASS ENTRY	3'-0" x 6'-8"	3'-2 1/4" x 6'-9 3/4"	3'-1 1/2" x 6'-9 1/4"	1" IG Low-E 52	0.25	Brown	(2) 2 X 6	L 4 X 4 X 1/4"	PROVIDE ADA THRESHOLD
Y	1/2 GLASS ENTRY	3'-0" x 6'-8"	3'-2 1/4" x 6'-9 3/4"	3'-1 1/2" x 6'-9 1/4"	1" IG Low-E 52	0.23	Brown	(2) 2 X 6	L 4 X 4 X 1/4"	PROVIDE ADA THRESHOLD

PRESCRIPTIVE BUILDING ENVELOPE MODEL - TABLE 5.5-5 FOR CLIMATE ZONE 5A					
ELEMENT	REQUIRED R-VALUE	ASSEMBLY MAX U-VALUE ALLOWABLE	PROVIDED R-VALUE	PROVIDED U-VALUE	PRODUCT USED TO ACHIEVE RATING
ROOF - SIP	R=38		42		SIP Manuf. supplied value
ROOF - Attic	R=38		38		Fiberglass batt or blown insulation totaling R=38
WALLS - Wood frame	R=13 + R=7.5 C.I.		R=15 + R=7.5 C.I.		Fiberglass Batt of R=15 in North & South walls and R=19 in East & West walls 1.5" GPS - Graphite Polystyrene w/ R=7.5 continuous insulation
FLOOR - Slab on grade	R=15 for 24"		R=15 for 24"		3" XPS - Extruded Polystyrene R=15 or 2.5" Poly. Iso. R=16.7
DOORS & WINDOWS		U 0.35		U=0.31 Max*	* See Window schedule on sheet A4 for individual U-values for each unit



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NEW 7-UNIT APARTMENT BUILDING FOR:  
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 LOT 4096 REDBLUFF DRIVE  
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SHEET TITLE  
 SECTIONS / PLAN DETAIL  
 SHEET NO.






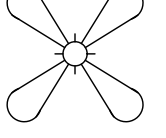






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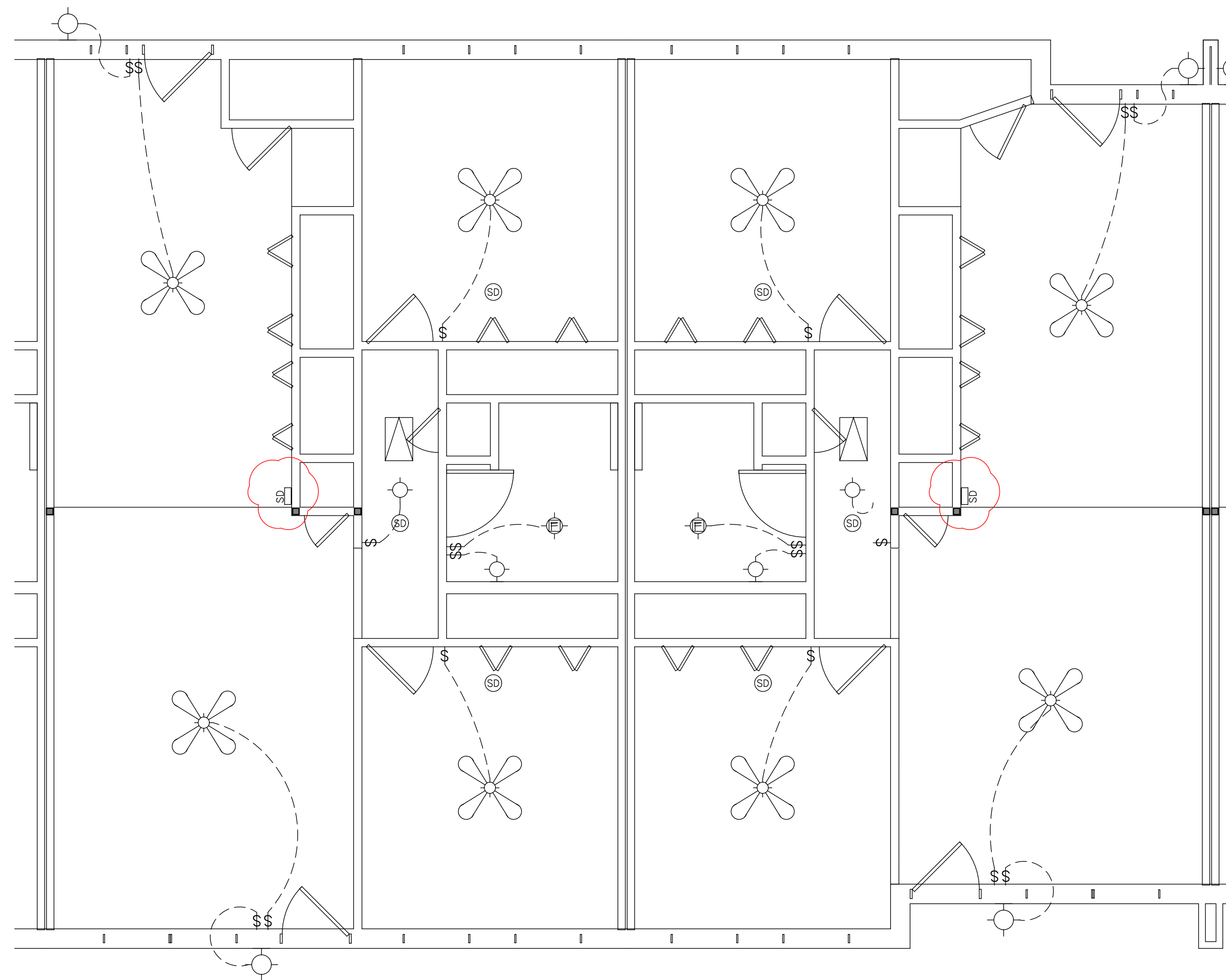




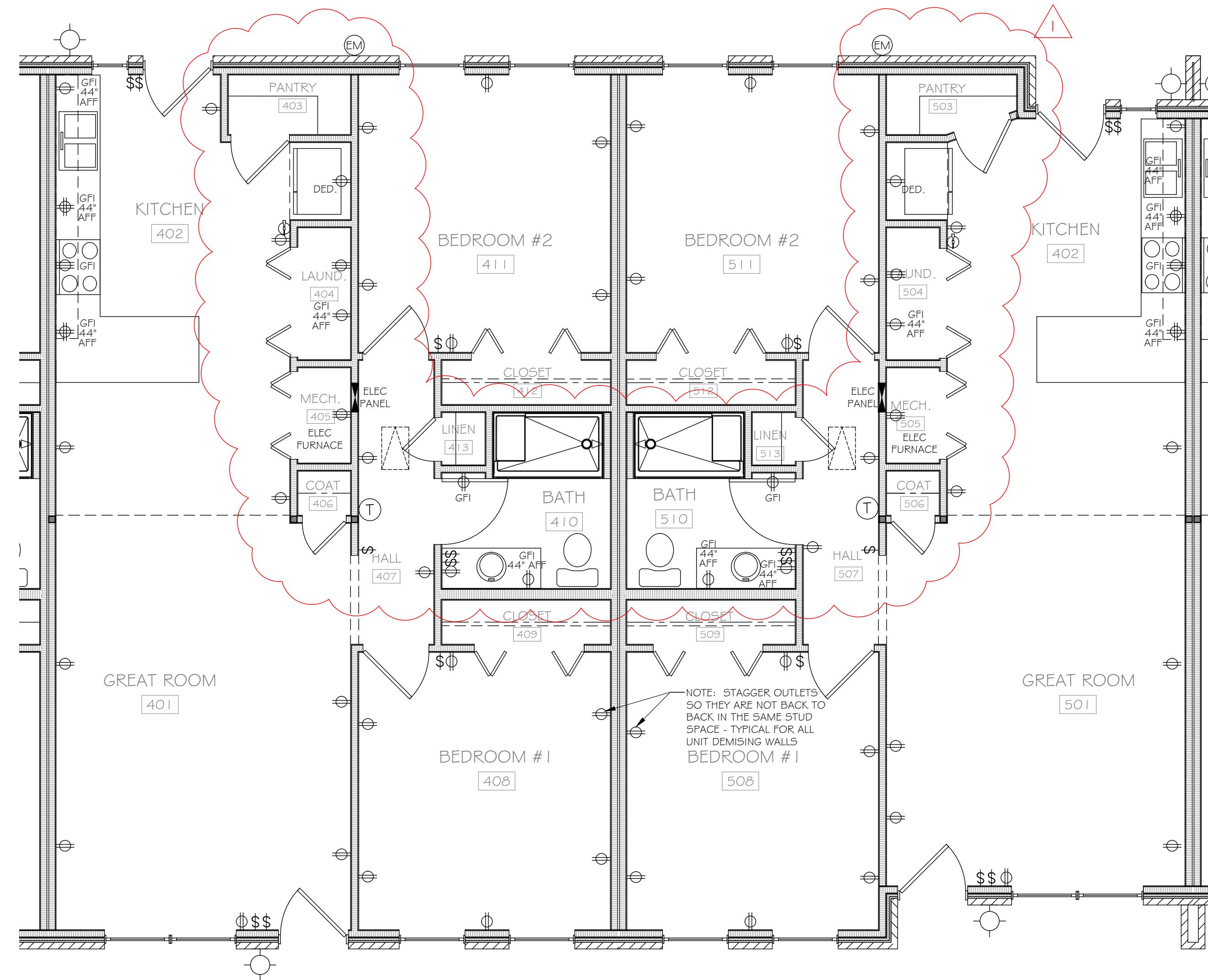
Lora E Sebald, License #9841  
Expiration Date: 12/31/25

**ELECTRICAL LEGEND:**

-  WALL MOUNTED FIXTURE
-  CEILING MOUNTED FIXTURE
-  EXHAUST FAN-LIGHT
-  CEILING MOUNTED COMBINATION SMOKE/CO DETECTOR HARDWIRED W/ BATTERY BACK-UP, INTERCONNECTED PER RCO 314 & 315
-  WALL MOUNTED COMBINATION SMOKE/CO DETECTOR HARDWIRED W/ BATTERY BACK-UP, INTERCONNECTED PER RCO 314 & 315
-  CEILING FAN LIGHT
-  ELECTRICAL PANEL
-  ELECTRIC METER
-  DUPLEX OUTLET
-  QUAD. OUTLET
-  220 V. APPLIANCE OUTLET
-  LIGHT SWITCH



**B** TYPICAL LIGHTING PLAN  
SCALE: 1/4" = 1'-0"



**A** TYPICAL ELECTRICAL POWER PLAN  
SCALE: 1/4" = 1'-0"

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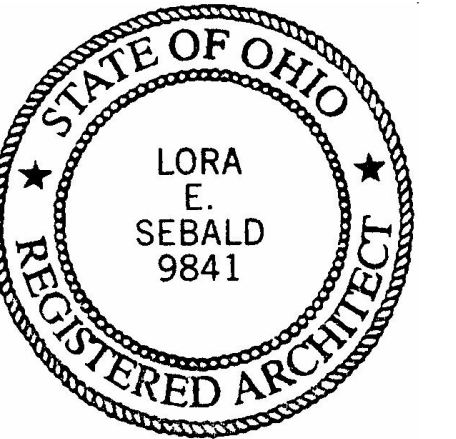
PLANNING 5-29-18  
PERMIT SET 8-15-18  
RE-ISSUED 2-23-24  
REVISION #1 4-30-24

SHEET TITLE

ELECTRICAL PLANS

SHEET NO.

**E-1**



Lora E. Sebold, License #9841  
Expiration Date: 12/31/25

CODE SUMMARY - DETACHED GARAGES - OBC 2017

	PROPOSED	
USE GROUP	U	
CONSTRUCTION TYPE	V-B	
FIRE GRADING	MED.	
MIXED USE SEPARATED	N/A	
AREA ALLOWABLE	5,500	
	Base Tab: 5,500	
	Frontage Increase: NA	
	Sprinkler Increase: NA	
	TOTAL ALLOWABLE AREA 5,500	
ACTUAL AREA:	1,760	
OCCUPANT LOAD	Each Unit @ 200 gross: 2	
	Building Total: 8	
EXITS/DOORS/HARDWARE	1 @ 36' Ea.	
FIRE RATED/SEPARATION WALLS	1 HR. NONE	
FIRE SUPPRESSION	NONE	
EXIT SIGNS/EMERG. LIGHTS	N/A	
	ALLOWABLE	ACTUAL
AREA	5,500	1,760
HEIGHT	4'	13'
NO. OF STORIES	1	1

GENERAL NOTES:

- SEE STRUCTURAL NOTES ON SHEET A1
- ALL DIMENSIONS ARE TO FACE OF MASONRY AND STUD ROUGH OPENING, EXCEPT AS NOTED.
- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE ARCHITECT.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE GOVERNING CODES AND ALL APPLICABLE COUNTY, STATE AND FEDERAL LAWS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND REGULATIONS ADOPTED PURSUANT THERETO.
- ALL WOOD FRAMING IN CONTACT W/ MASONRY OR CONCRETE SHALL BE PRESSURE TREATED NO. 2 SOUTHERN YELLOW PINE.
- METAL CONNECTORS IN CONTACT W/ PRESSURE TREATED WOOD SHALL BE GALVANIZED MIN. Z-185.

NEW 7-UNIT APARTMENT BUILDING FOR:

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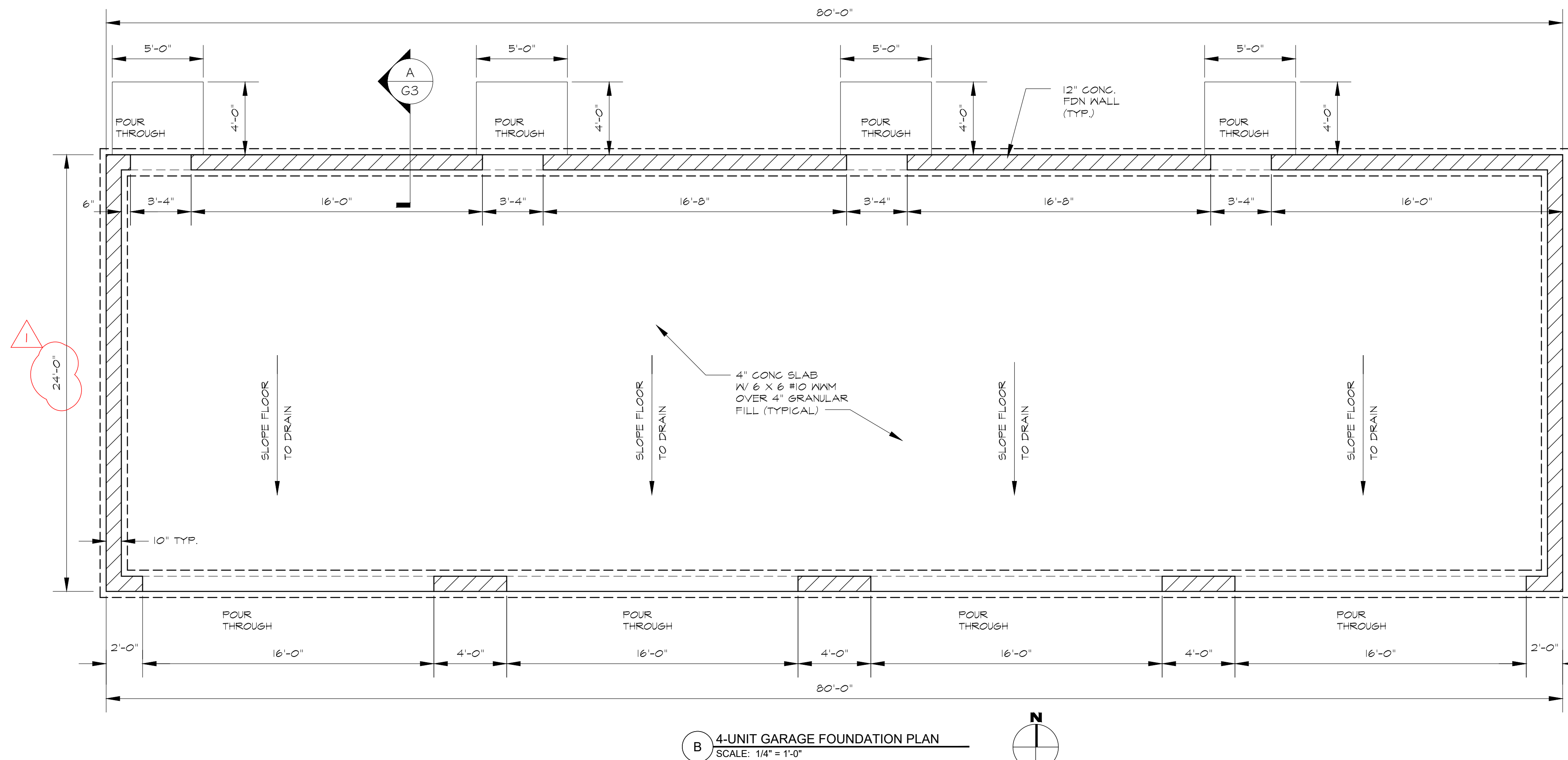
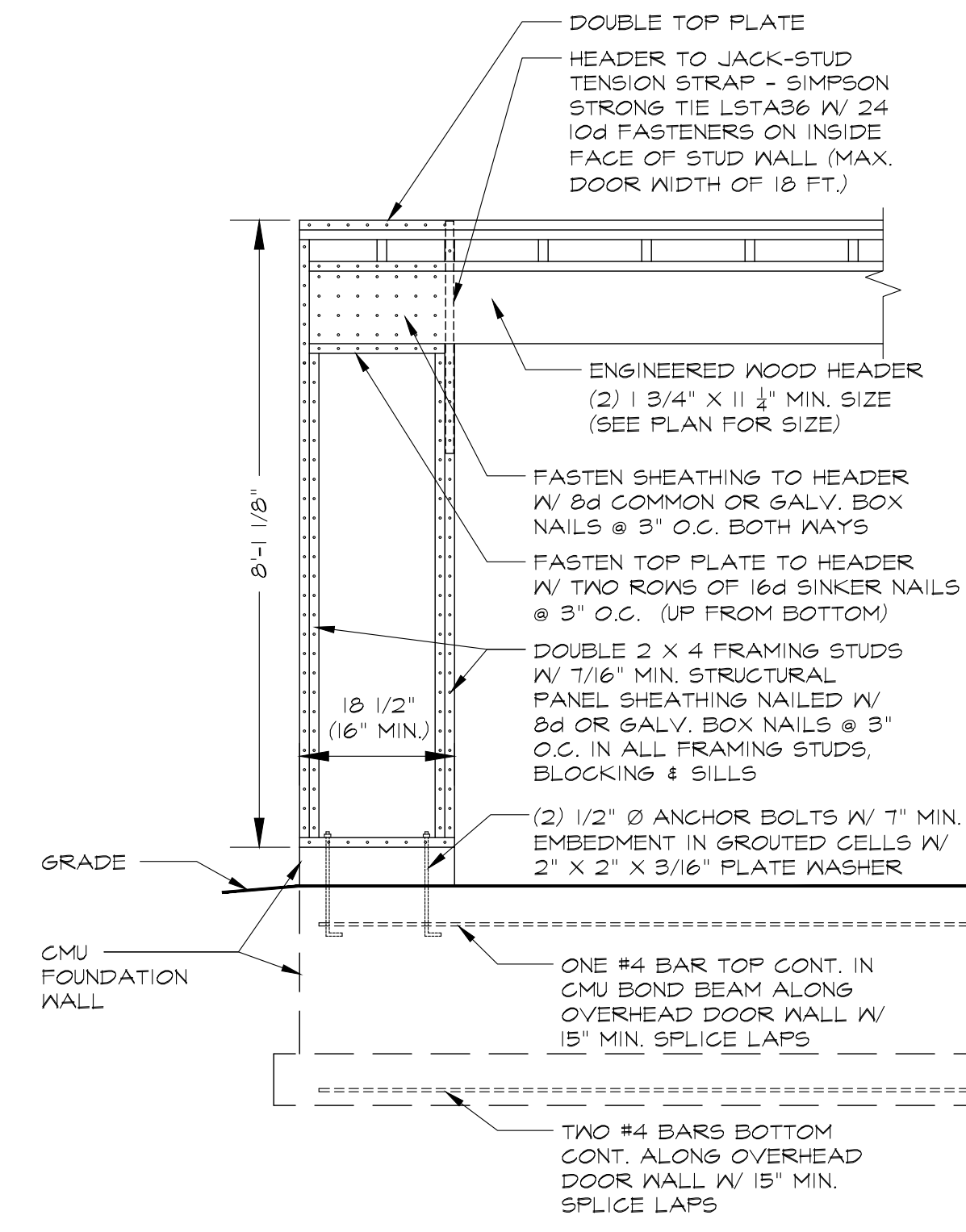
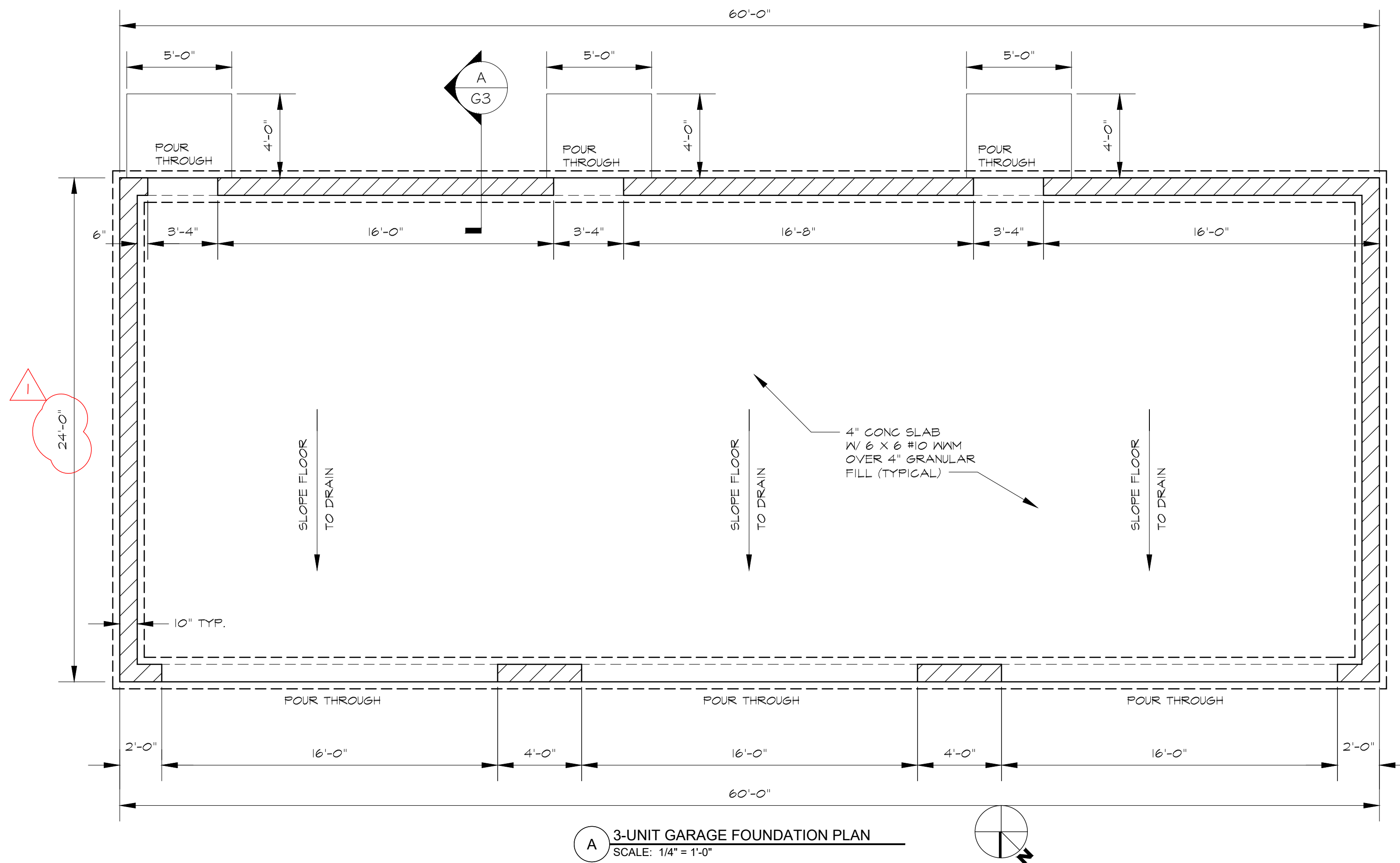
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SHEET TITLE

DETACHED GARAGE FOUNDATION PLANS

SHEET NO.

**G-1**







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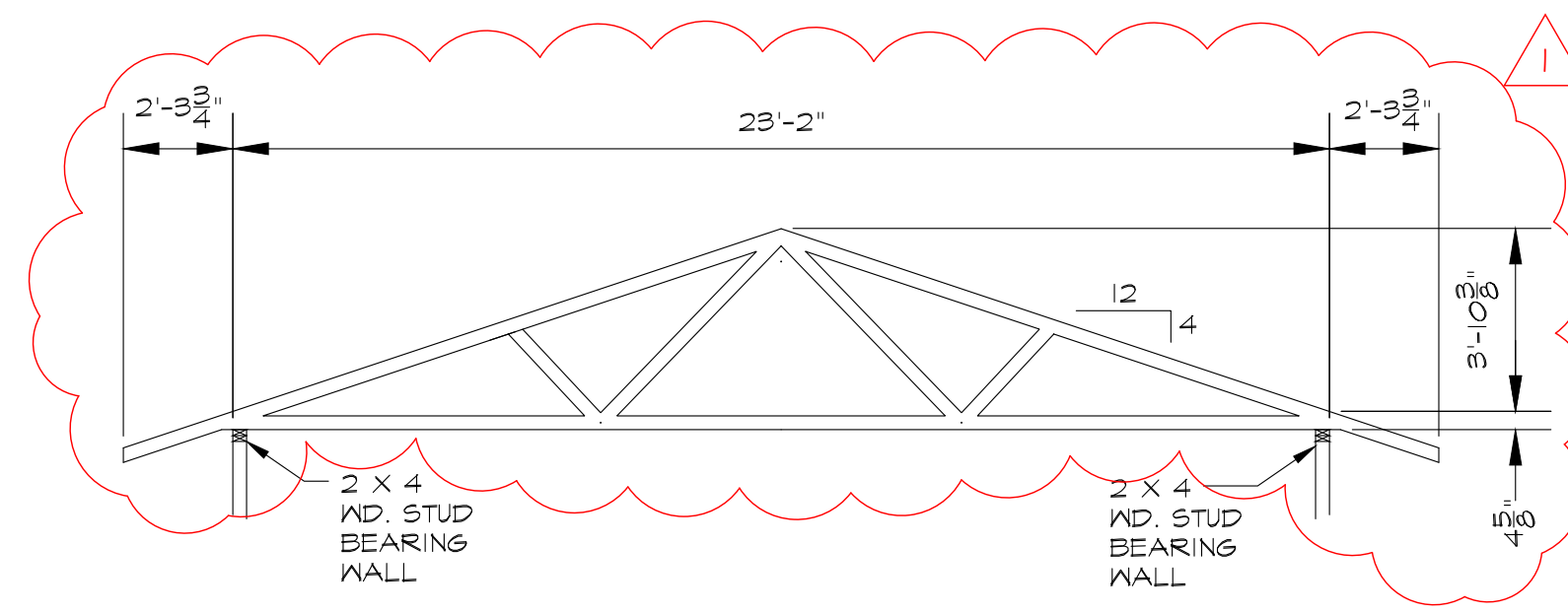
PLANNING 5-29-18  
 PERMIT SET 8-15-18  
 RE-ISSUED 2-23-24  
 REVISION #1 4-30-24

SHEET TITLE

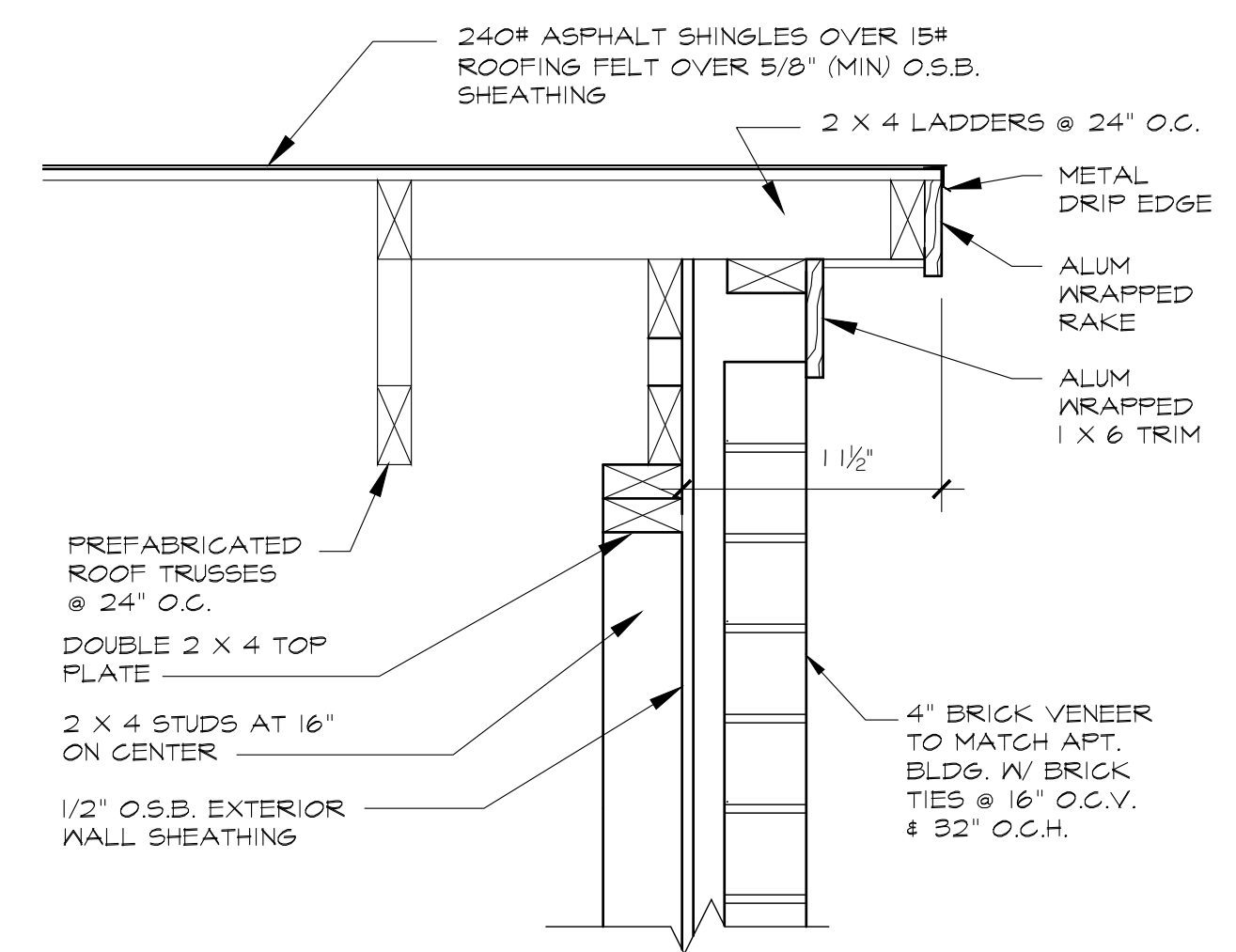
DETACHED GARAGE FLOOR PLANS

SHEET NO.

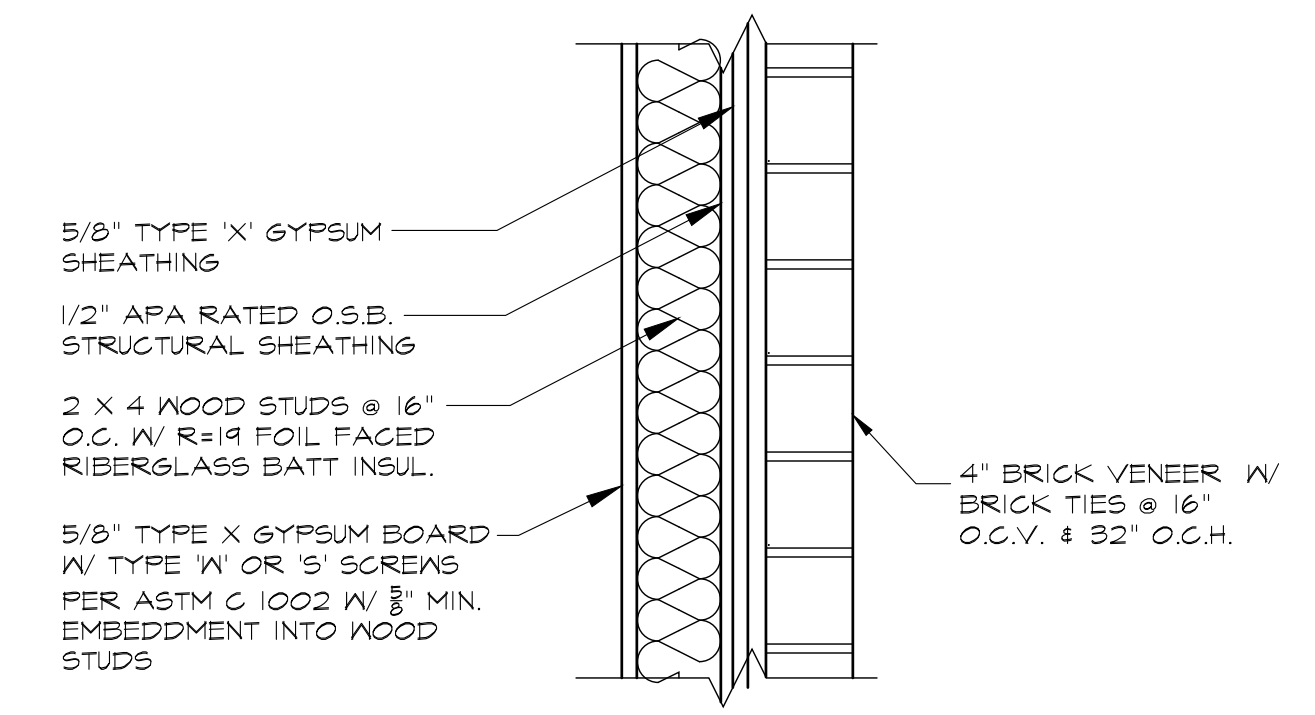
**G-2**



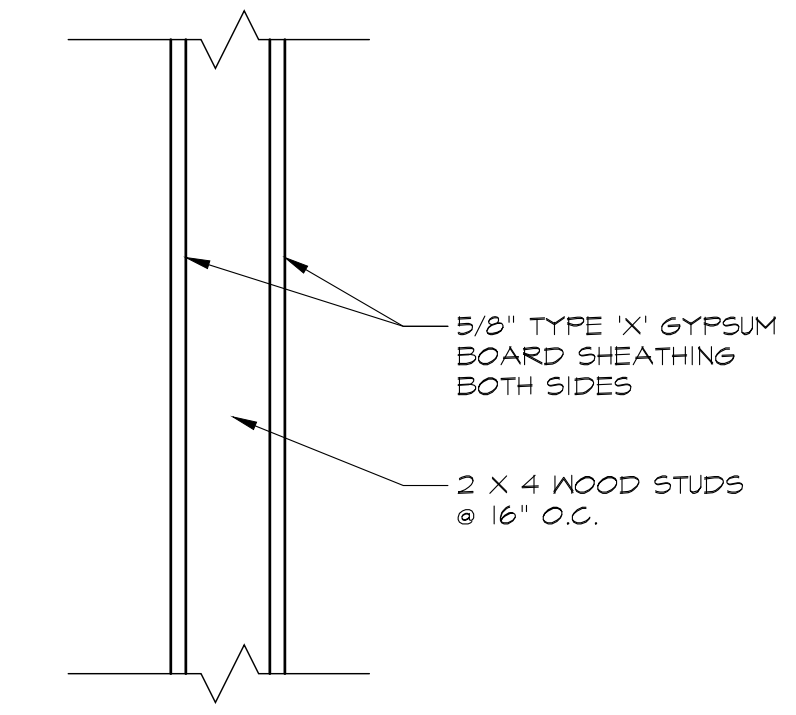
**B TRUSS ELEVATION DIAGRAM**  
 SCALE: 1/4" = 1'-0"



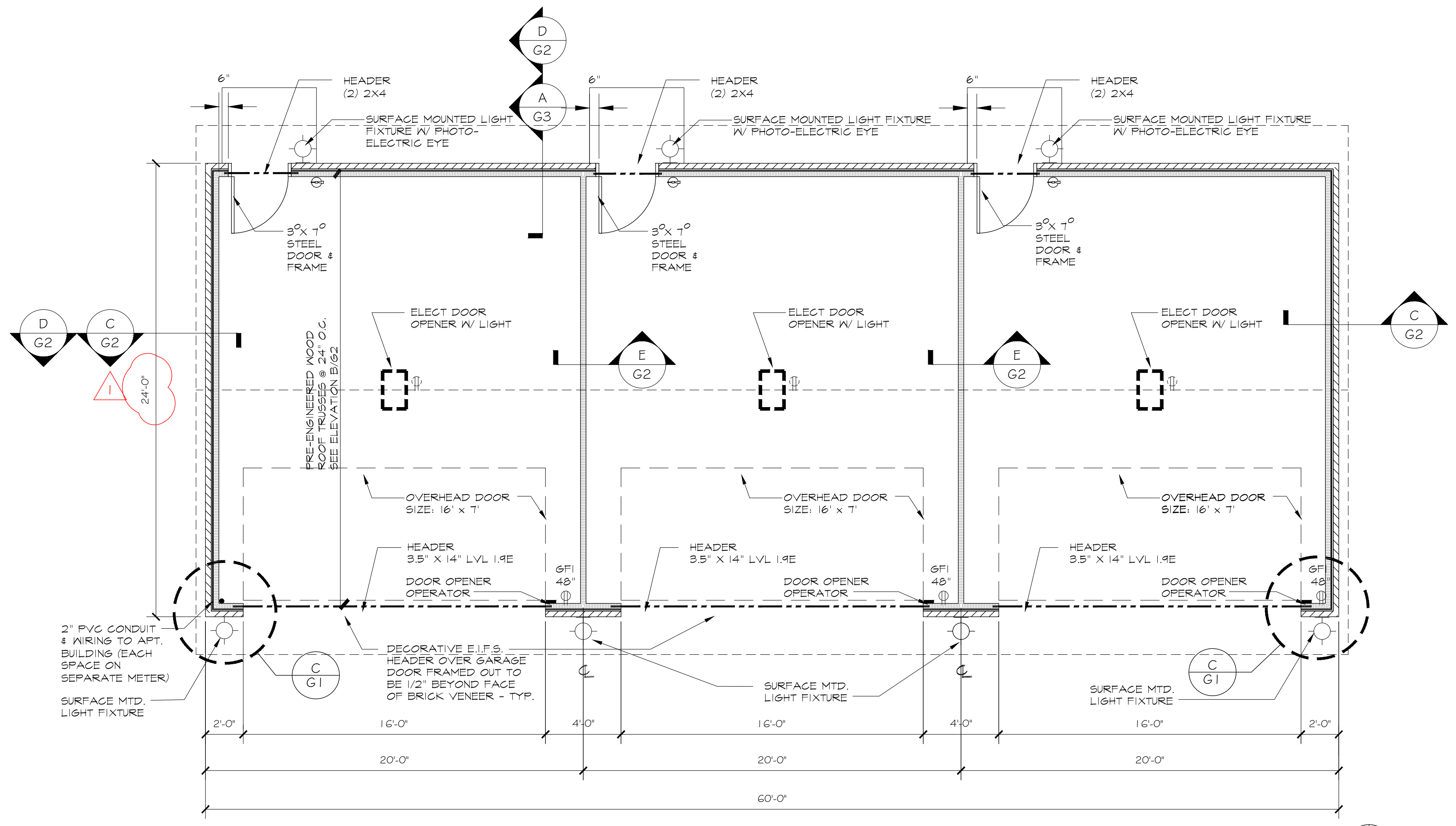
**C SECTION @ GABLE END**  
 SCALE: 1 1/2" = 1'-0"



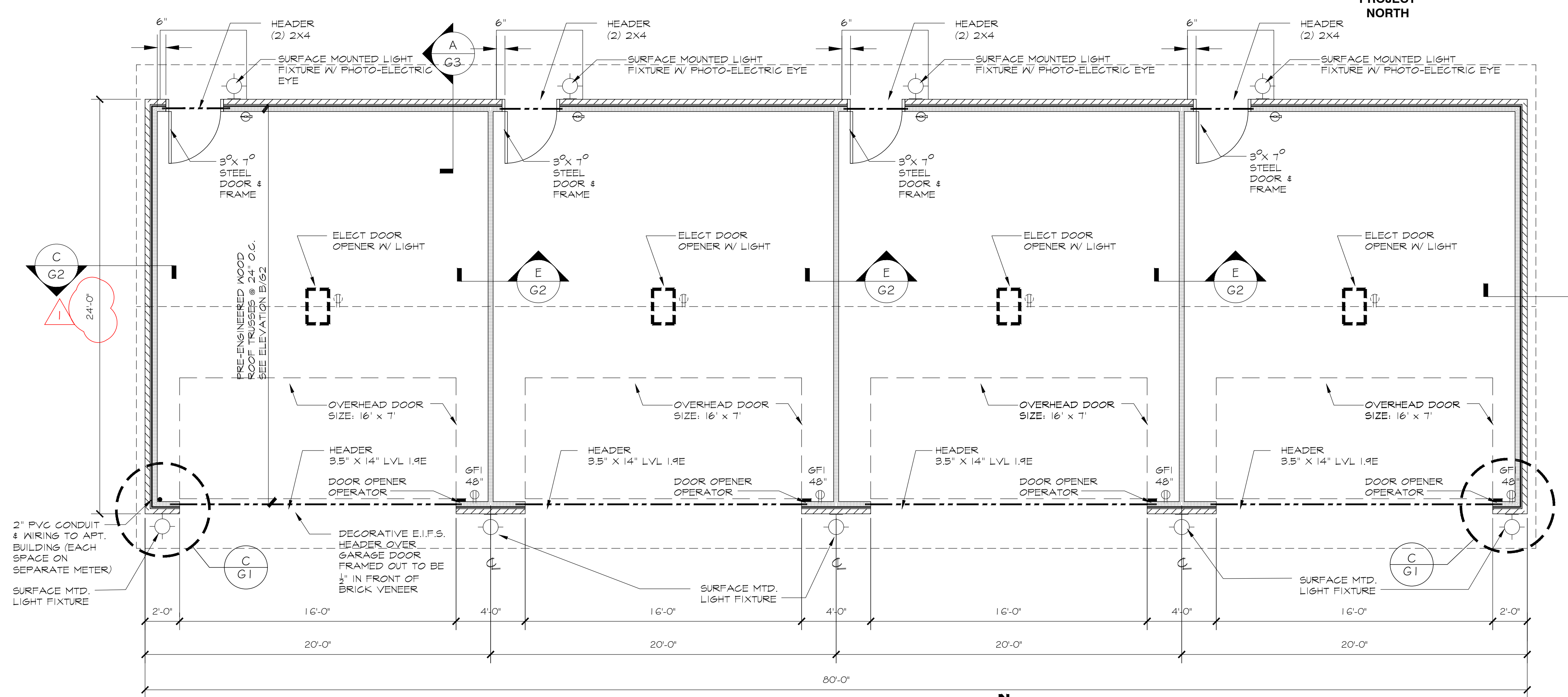
**D RATED EXTERIOR WALL SECTION - UL #344**  
 SCALE: 1 1/2" = 1'-0"



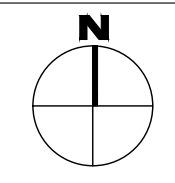
**E RATED INTERIOR WALL SECTION - UL #377**  
 SCALE: 1 1/2" = 1'-0"



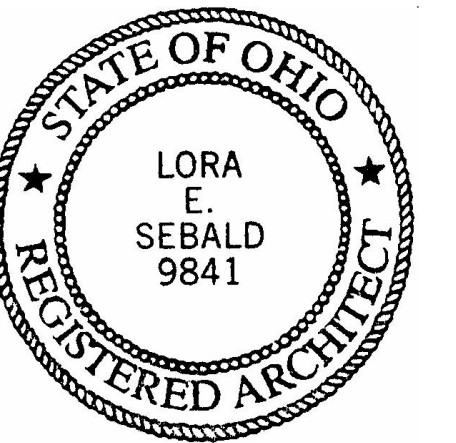
**A 4-UNIT GARAGE FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



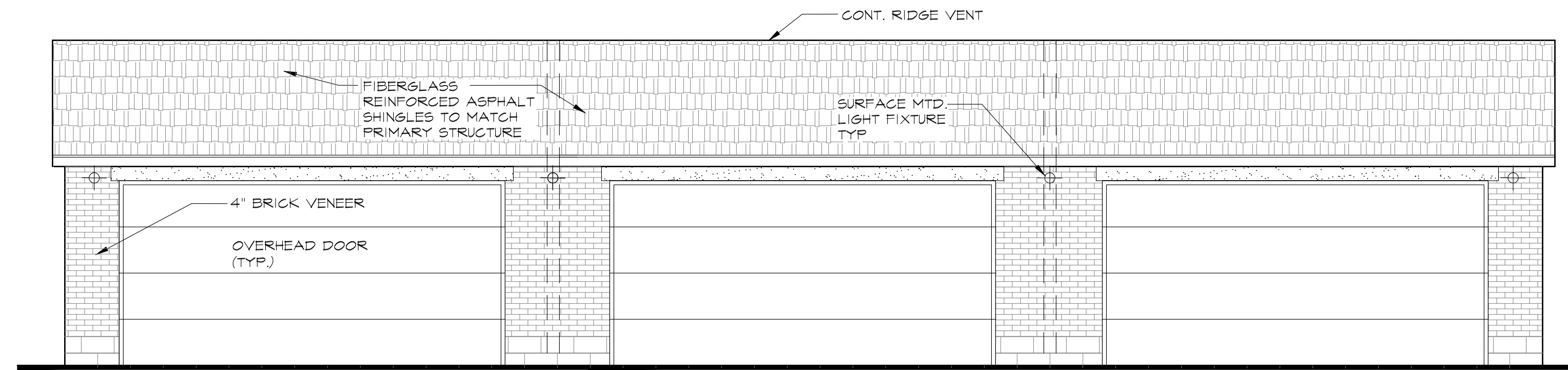
**F 4-UNIT GARAGE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



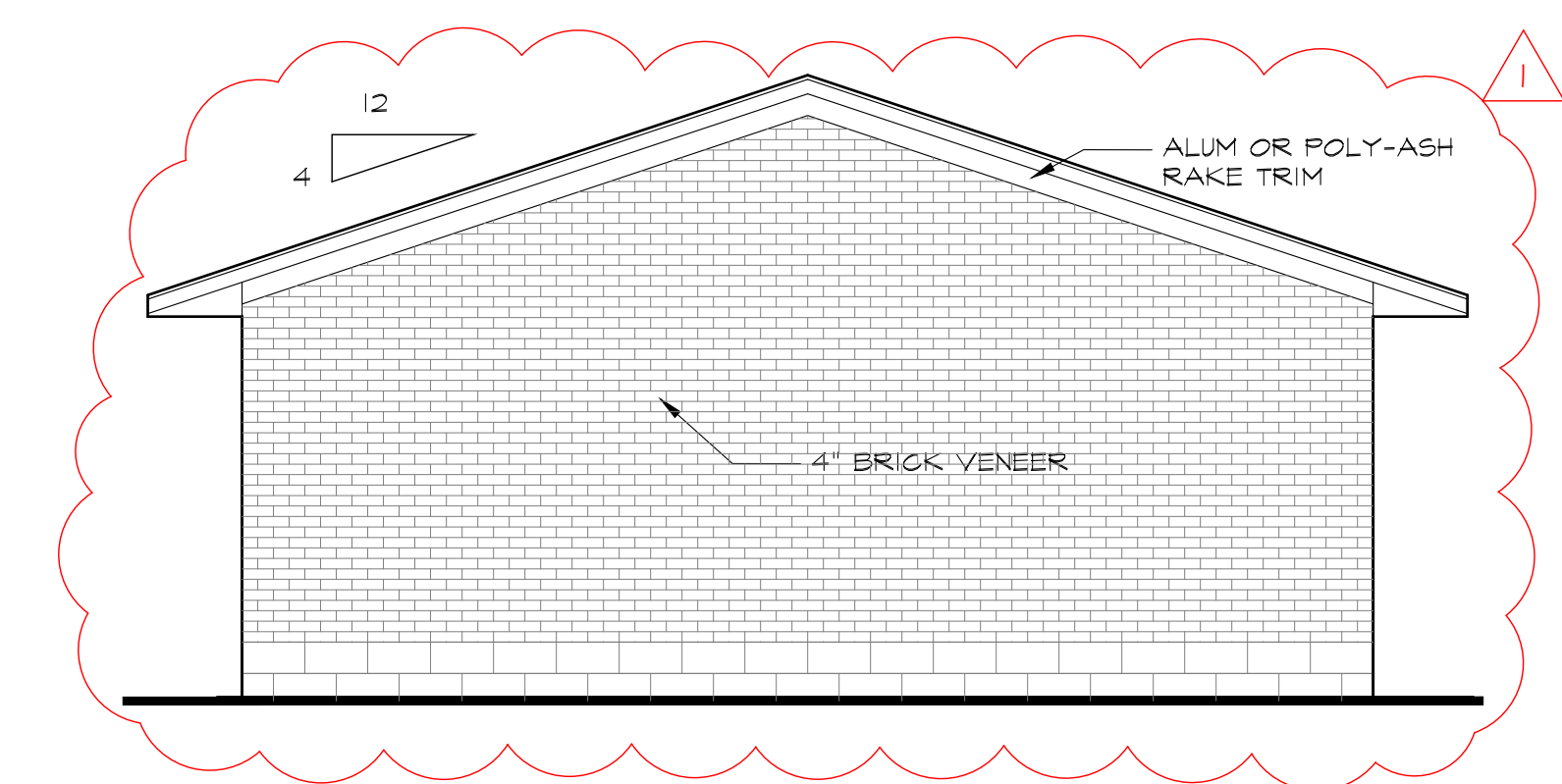




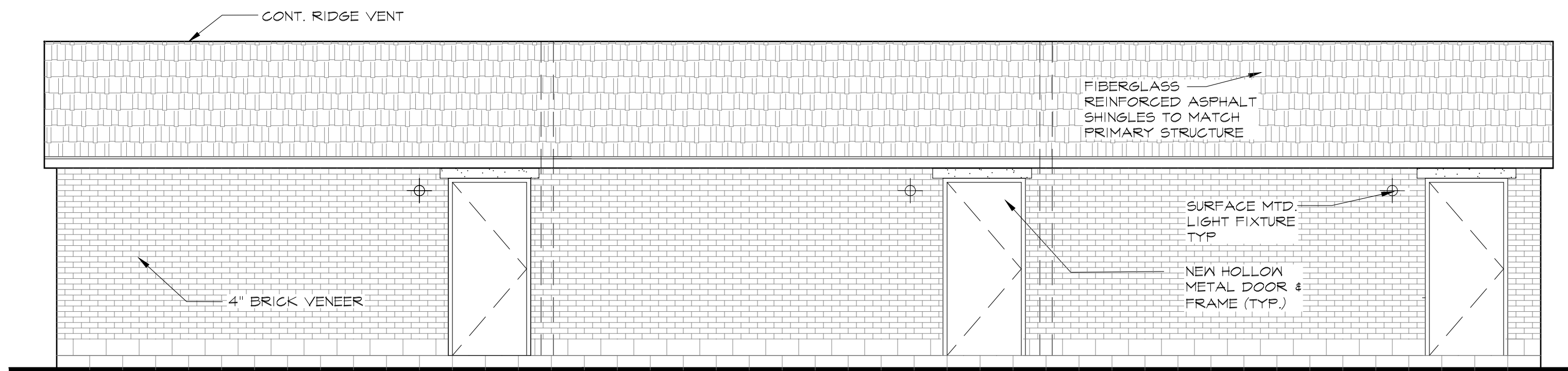
Lora E Sebold, License #9841  
Expiration Date: 12/31/25



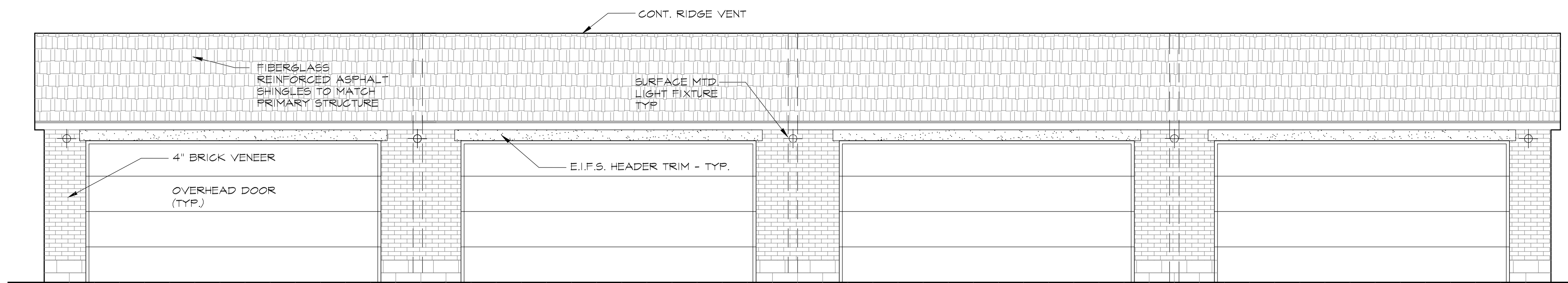
**F** 3-UNIT NORTH GARAGE ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"



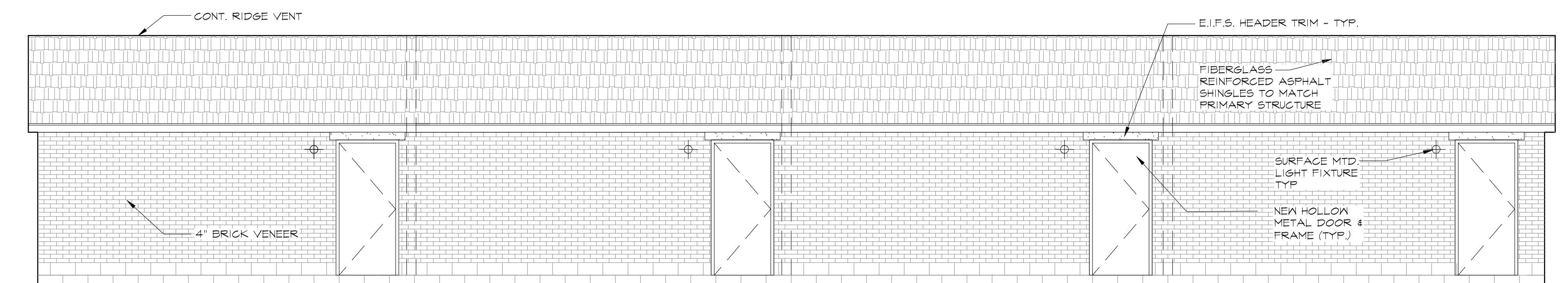
**E** TYPICAL EAST & WEST GARAGE ELEVATIONS  
SCALE: 1/4" = 1'-0"



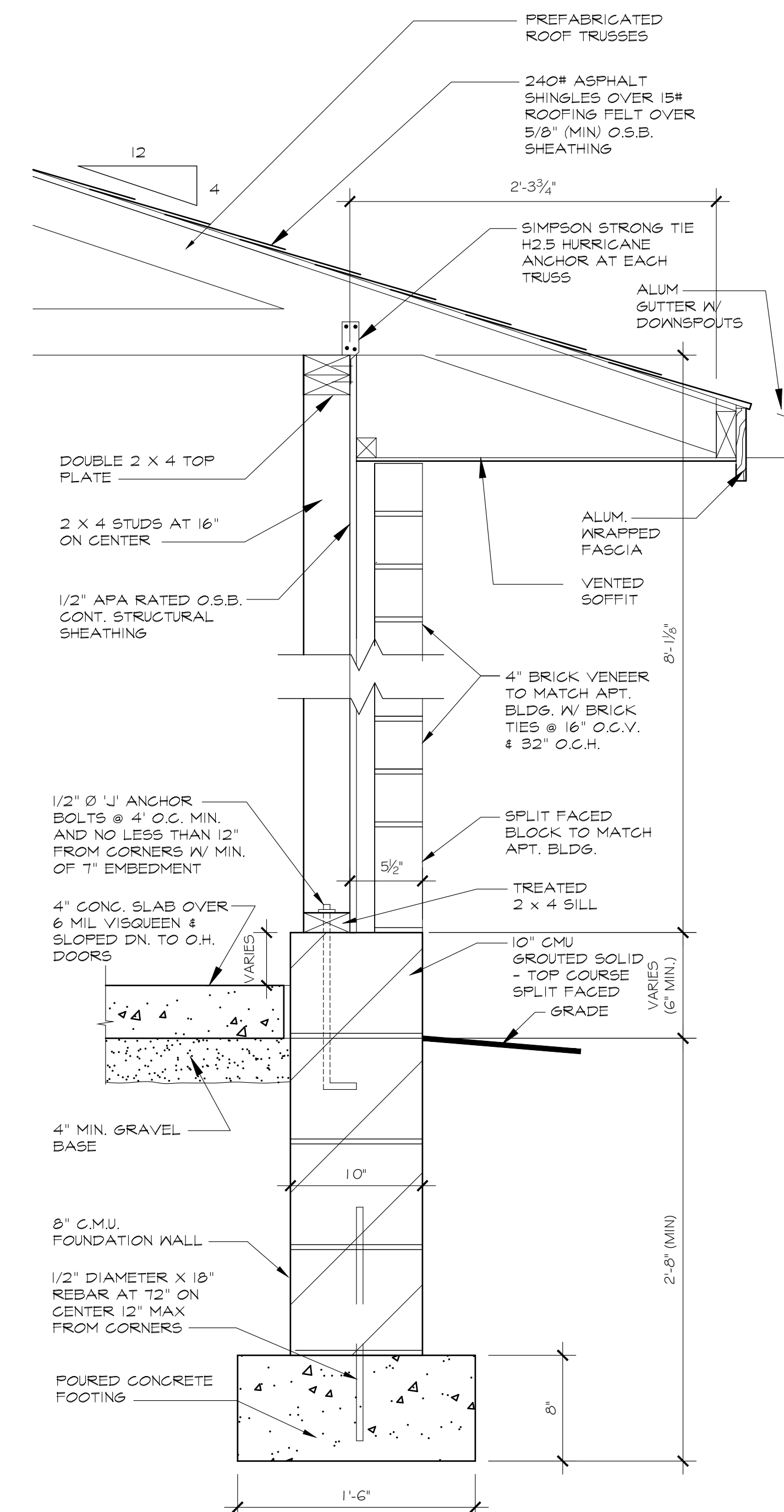
**D** 3-UNIT SOUTH GARAGE ELEVATION - REAR  
SCALE: 1/4" = 1'-0"



**C** 4-UNIT SOUTH GARAGE ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"



**B** 4-UNIT GARAGE NORTH ELEVATION - REAR  
SCALE: 1/4" = 1'-0"



**A** TYPICAL WALL SECTION  
SCALE: 1 1/2" = 1'-0"

NEW 7-UNIT APARTMENT BUILDING FOR:

**MIRALI**  
LOT 4096 REDBLUFF DRIVE  
West Carrollton, Ohio

PROJECT NO.

170610

ISSUED

PLANNING 5-29-18  
PERMIT SET 8-15-18  
RE-ISSUED 2-23-24  
REVISION #1 4-30-24

SHEET TITLE

GARAGE EXTERIOR  
ELEVATIONS / TYPICAL  
WALL SECTION

SHEET NO.

**G-3**