

CITY OF WEST CARROLLTON, MONTGOMERY COUNTY, OH

SITE DEVELOPMENT PLANS

FOR

GETGO #3594

2100 SOUTH ALEX ROAD
WEST CARROLLTON, OH 45449

OWNER:
CASTO
250 CIVIL CENTER DRIVE, SUITE 500
COLUMBUS, OH 43215
PHONE: (614) 744-2024
FAX: (614) 228-6622
CONTACT: JASON FREEMAN

DEVELOPER:
GETGO CAFE + MARKET
GIANT EAGLE, INC.
101 KAPPA DRIVE
PITTSBURGH, PA 15238
PHONE: (412) 508-9026
CONTACT: CHUCK STEWART

ARCHITECT:
TBD

ENGINEER:
CESO, INC.
3601 RIGBY DRIVE, SUITE 300
MIAMISBURG, OH 45342
PHONE: (937) 435-8584
FAX: (888) 208-4826
CONTACT: ERIC BOYD

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
NAME
ADDRESS 1
ADDRESS 2
PHONE: (XXX) XXX-XXXX

GAS SERVICE:
CENTERPOINT ENERGY
6500 CLOY ROAD
DAYTON, OH 45459
PHONE: (800) 227-1376

WATER:
MONTGOMERY COUNTRY
ENVIRONMENTAL SERVICES
1850 SPAULDING RD
DAYTON, OH 45432
PHONE: (937) 781-2500

TELEPHONE:
AT&T
208 S. AKARD ST.
DALLAS, TX 75202
PHONE: (210) 821-4105

STORMWATER:
NAME
ADDRESS 1
ADDRESS 2
PHONE: (XXX) XXX-XXXX

ELECTRIC:
AES
1900 DRYDEN RD
MOREAINE, OH 45439
PHONE: (937) 331-3900

ZONING:
NAME
ADDRESS 1
ADDRESS 2
PHONE: (XXX) XXX-XXXX

CABLE TELEVISION:
CHARTER COMMUNICATIONS
2834 MIAMISBURG-CENTERVILLE RD
DAYTON, OH 45459
PHONE: (866) 874-2389

PROPERTY DATA:

PARCEL OWNER: WATERTOWER PARTNERS LLC

PARCEL ID: k48 00415 0031

ADDRESS: 2100 SOUTH ALEX DR
WEST CARROLLTON, OH 45449

PROPERTY AREA: 1.608 ACRES

ZONING: B-2 - GENERAL COMMERCIAL DISTRICT

PROPOSED USE: C-STORE / GAS STATION

	REQUIRED	PROPOSED
BUILDING SETBACKS		
FRONT (ALEX RD):	30'	51.9'
FRONT (WATERFRONT LANE):	30'	57.5'
SIDE (SR 725):	30'	257.7'
REAR:	23'	46.6'

PARKING AREA SETBACKS		
FRONT (ALEX RD):	5'	27.7'
FRONT (WATERFRONT LANE):	5'	38.0'
SIDE (SR 725):	0'	95.3'
REAR:	0'	0'

SIGN SETBACKS: 10' XX

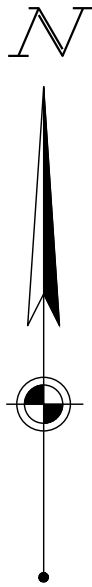
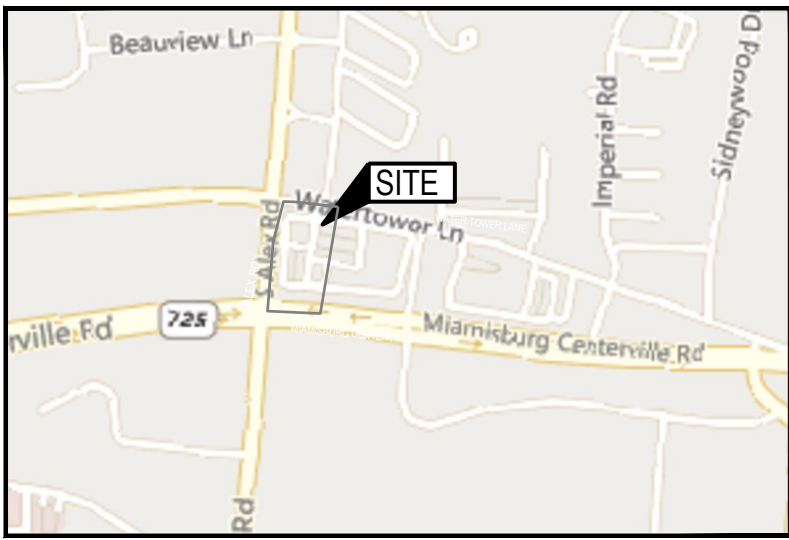
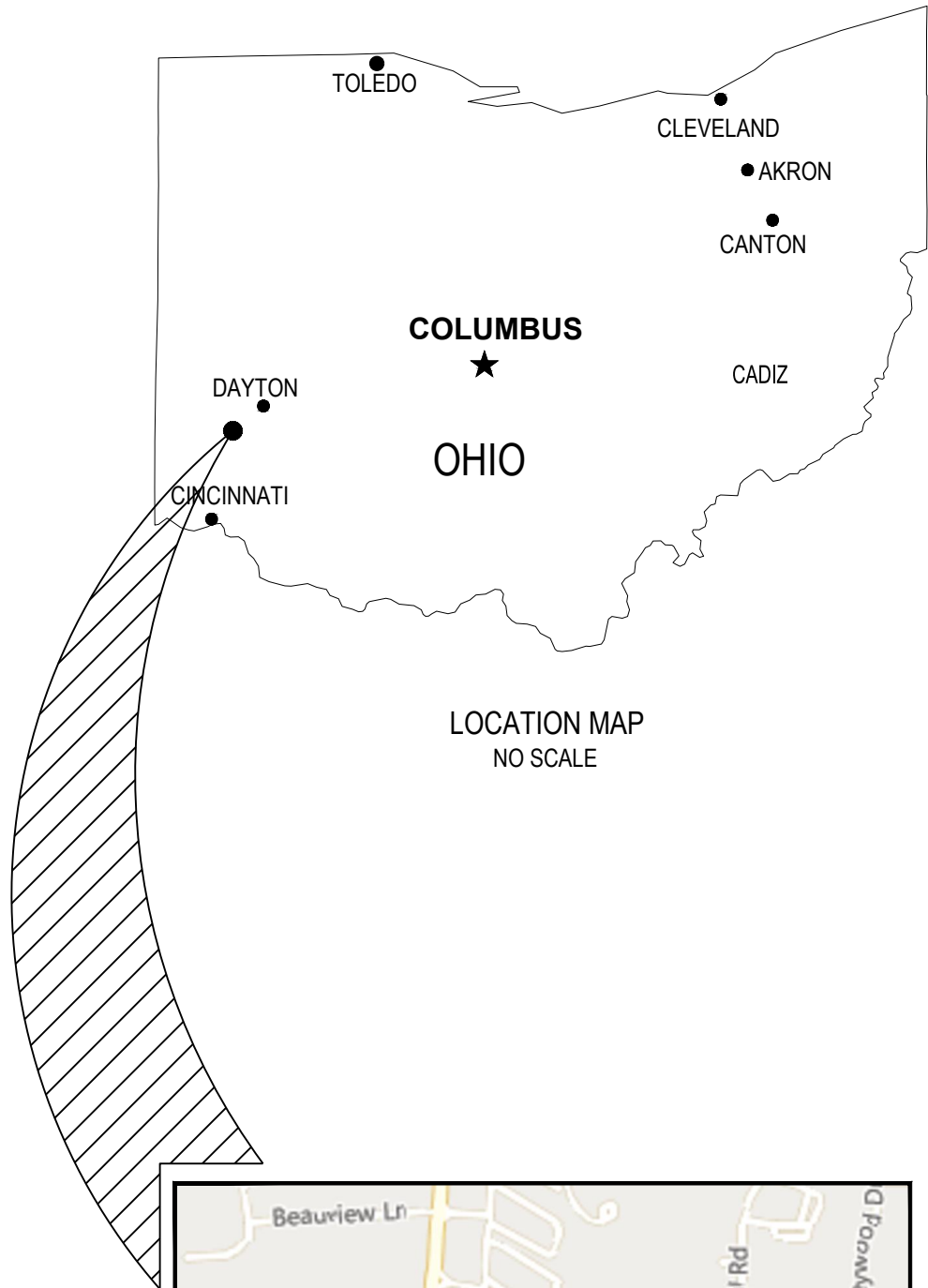
MAXIMUM BUILDING HEIGHT: 50'

BUILDING AREA: 6,323 SF

PARKING:		
TOTAL PARKING SPACES:	33	36+12 FUELING SPOTS
ADA PARKING SPACES:	2	2

FLOODPLAIN DESIGNATION: "ZONE X"

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2	PHOTOMETRIC PLAN COMPLETED BY CAPITOL LIGHT
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PARCEL IS LOCATED WITHIN "ZONE X" AS INDICATED BY THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 39119C025E, EFFECTIVE DATE: 1/6/2005; PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BENCHMARK				
	ELEVATION*	NORTHING**	EASTING**	DESCRIPTION
BM "A"	974.86	602651.2210	1477580.5070	BENCH TIE SET IN A LIGHT POLE LOCATED ON THE WEST SIDE OF THE SITE APPROXIMATELY 3' EASY OF THE EAST CURB OF ALEX ROAD AND 13' NORTH OF A CONCRETE ENTRANCEWAY TO THE SHOPPING CENTER
BM "B"	975.87	602559.5900	1477869.2130	CROSS NOTCH SET ON A LIGHT POLE LOCATED IN A PARKING LOT NEAR THE CENTER OF THE SITE
BM "C"	972.46	602797.0570	1477763.4600	CROSS NOTCH SET ON A HYDRANT LOCATED ON THE NORTH SIDE OF THE SITE, APPROXIMATELY 4 FEET SOUTH OF THE CURB ALONG THE SOUTH RIGHT-OF-WAY LANE OF WATERTOWER LANE AND 22' EAST OF A 35 MPH SIGN.

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83

SURVEY PROVIDED BY:
CESO, INC.
3601 RIGBY DRIVE, SUITE 300
MIAMISBURG, OH 45342
PHONE: 937.435.8584
DATED: 2022.11.11
CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



GIANT EAGLE

WEST CARROLLTON, OH

2100 SOUTH ALEX ROAD
WEST CARROLLTON, OHIO 45449

Revisions / Submissions

ID	Description	Date
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Project Number: 761711
Scale: N/A
Drawn By: JEA/CDR
Checked By: RAP
Date: 03/03/2023
Issue: CONDITIONAL USE

Drawing Title:
COVER SHEET

C1.0

W:\PROJECTS\GIANT EAGLE\761711-01 GetGo 3594_West Carrollton_OH\03-Civil\PLAN\LOT\761711_GENERAL_NOTES.dwg - 3/2/2023 - Christopher Reategui

GENERAL NOTES

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
2. FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
4. PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED/RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
5. CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
6. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC., SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
11. PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS. SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
13. THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
15. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
16. THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
17. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS. FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
5. THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
6. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
7. ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
8. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
9. ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
10. ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
11. PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). PAVEMENT MARKINGS ON ASPHALT SHALL BE WHITE. PAVEMENT MARKINGS ON CONCRETE SHALL BE YELLOW.
12. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
13. REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
14. REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
15. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SITE WORK PREPARATION/RECOMMENDATIONS AND PAVEMENT SECTIONS.
16. REFER TO ORIGINAL SURVEY PROVIDED BY CESO, INC. DATED NOVEMBER 11, 2022.
17. ALL LIGHT POLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
7. ALL ADA ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE GRADED WITH A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES SHALL BE GRADED WITH A 2.0% MAXIMUM CROSS SLOPE AND 5.0% MAXIMUM RUNNING SLOPE.
8. MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).
9. COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
10. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
13. ALL TOPSOIL MUST BE REMOVED BEFORE FILL MATERIAL IS PLACED.
14. ALL WET, OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED, THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
15. ALL UNSURFACED AREAS, DISTURBED BY GRADING, OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS PLAN SET.
16. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
17. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
18. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS III, IV, V	ASTM C-76	ASTM C443	ASTM C1479	WITHIN R/W, COVER VARIES WITH PIPE CLASS
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

19. ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
20. ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND ODOT STANDARDS.
21. ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
22. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
23. THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
24. WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
25. IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
7. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
8. WATER AND SANITARY UTILITIES SHALL HAVE TEN (10') FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING. ALL CLEARANCE DISTANCES SHALL BE MEASURE FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
9. IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10') FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE WATER LINES. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
10. UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
12. UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET.
13. ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF WEST CARROLLTON CONSTRUCTION STANDARDS AND STATE REGULATIONS.
14. INSTALL ALL WATER LINES WITH A MINIMUM COVER OF XX-XX".
15. ON-SITE WATER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
HIGH-DENSITY POLY-ETHYLENE (HPDE TUBING)	SDR 9 P.C. = 250 PSI	ASTM D2239 AWWA C901 ASTM F714	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, < 3" DIA.
COPPER 1"-3"	TYPE "K"	ASTM B88	AWWA C800	AWWA C800	DOMESTIC WATERLINES 1"-3"
PE 4710 POLY-ETHYLENE PLASTIC (IPS)	SDR 11 P.C. = 200 PSI	ASTM D3035 AWWA C901	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 2" TO 3" DIA.
P.V.C. POLY VINYL CHLORIDE 4"- 8" C900	C900	AWWA C901 (RATED DR 14)	ASTM F-477 ASTM D3139	AWWA C900 C651	ON SITE, 4"-8" WATER LINES & FIRE LINES INSTALL W/ TRACER & TAPE #12 COPPER
DUCTILE IRON PIPE 4"-12"	CLASS 52 P.C. = 350PSI	AWWA C104, C110, C151, C500	AWWA C111	AWWA C600, C651	6" FIRE HYDRANT LEADS
PE 4710 POLY-ETHYLENE PLASTIC (DIPS)	SDR 9 P.C. = 250 PSI	ASTM D2239 ASTM F714 AWWA C906	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 4" DIA. AND LARGER

16. ON-SITE SANITARY SEWER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., LESS THAN 8.5' OF COVER
POLY VINYL CHLORIDE (PVC)	SDR 26	ASTM 3034	ASTM D3212	ASTM 2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., GREATER THAN OR EQUAL TO 8.5' OF COVER

17. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
18. CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.



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GIANT EAGLE

WEST CARROLLTON, OH

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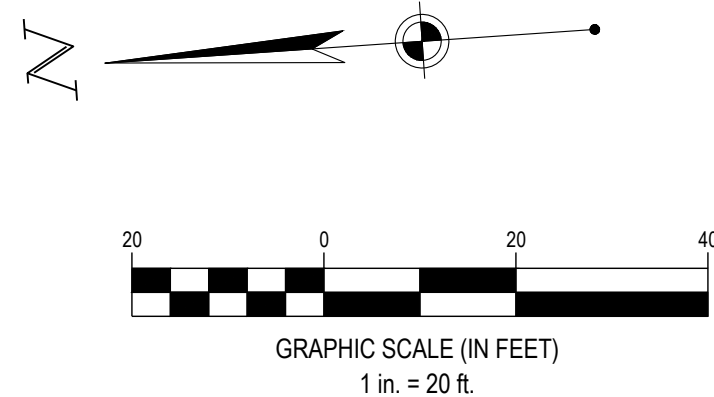
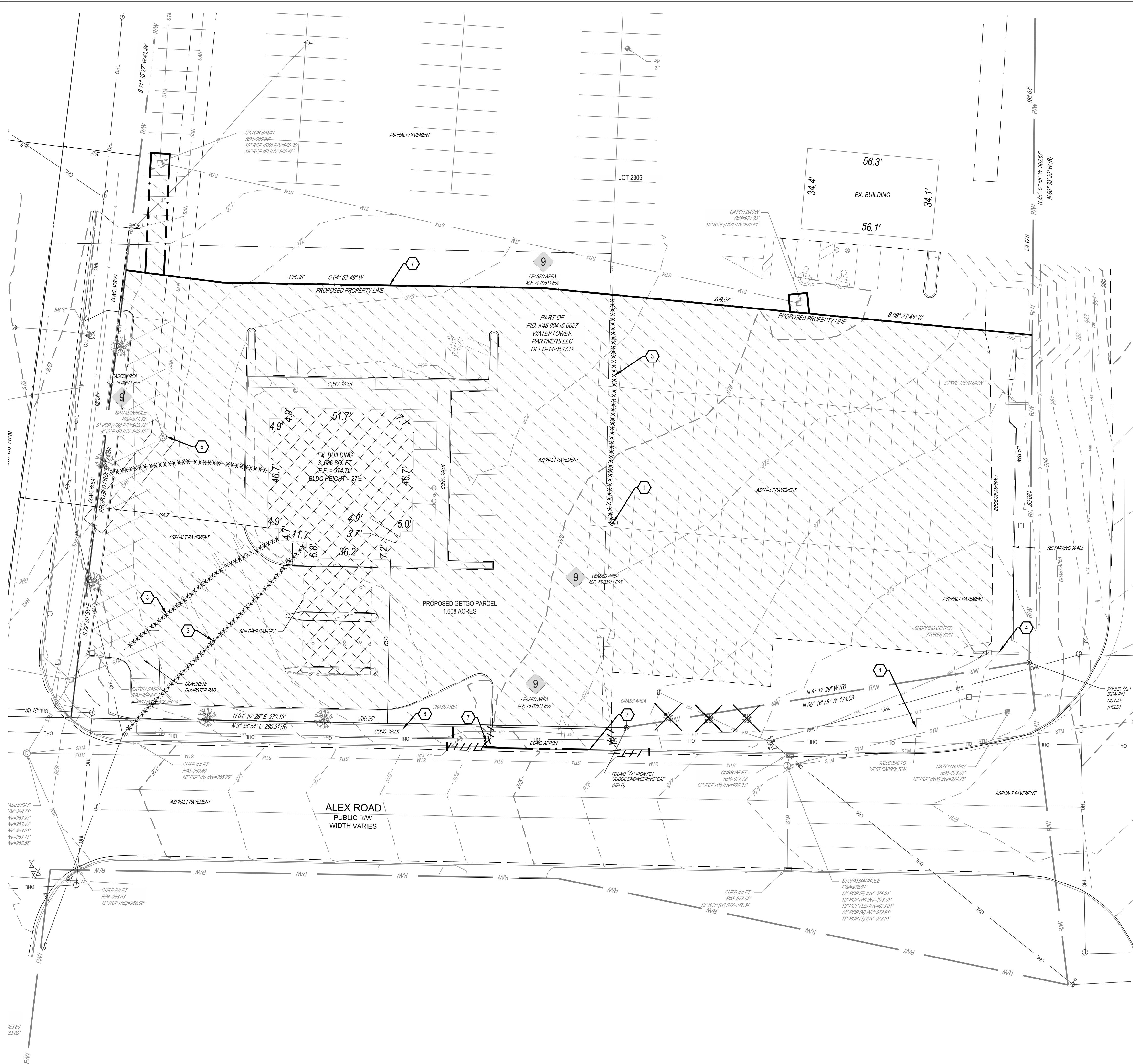
Revisions / Submissions		
ID	Description	Date

Project Number:	761711
Scale:	N/A
Drawn By:	JEACDR
Checked By:	RAP
Date:	03/03/2023
Issue:	CONDITIONAL USE

Drawing Title:
GENERAL NOTES

C1.1

W:\PROJECTS\GIANT EAGLE\761711-01 GetGo_3594_West Carrollton_OH\03-CIVIL\PLAN\LOT761711_DEMOLITION_PLAN.dwg - 3/2/2023 - Christopher Reategui



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

GENERAL NOTES:
SEE SHEET

CODED NOTES:

1. REMOVE EXISTING LIGHT POLE
2. REMOVE EXISTING STORMS/SANITARY STRUCTURE
3. REMOVE EXISTING UTILITY LINE/STRUCTURE. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
4. PROTECT EXISTING SIGN TO REMAIN
5. PROTECT EXISTING UTILITY LINE/STRUCTURE TO REMAIN
6. PROTECT EXISTING SIDEWALK, CURB, OR PAVEMENT TO REMAIN,
7. SAWCUT SIDEWALK, CURB, OR PAVEMENT TO FULL DEPTH.

DEMOLITION LEGEND

EXISTING
REFER TO ALTA/NSPS FOR EXISTING FEATURES LEGEND

PROPOSED

- SITE CLEARING LIMITS
- REMOVE EXISTING BUILDING
- REMOVE EXISTING PAVEMENT (OR AS NOTED ON THE PLANS)
- SAWCUT LINE
- UTILITY LINE TO BE REMOVED / RELOCATED
- REMOVE EXISTING CURB & GUTTER
- REMOVE EXISTING FENCE
- REMOVE AND DISPOSE OF EXISTING TREE
- PROTECT EXISTING TREE TO REMAIN

GIANT EAGLE

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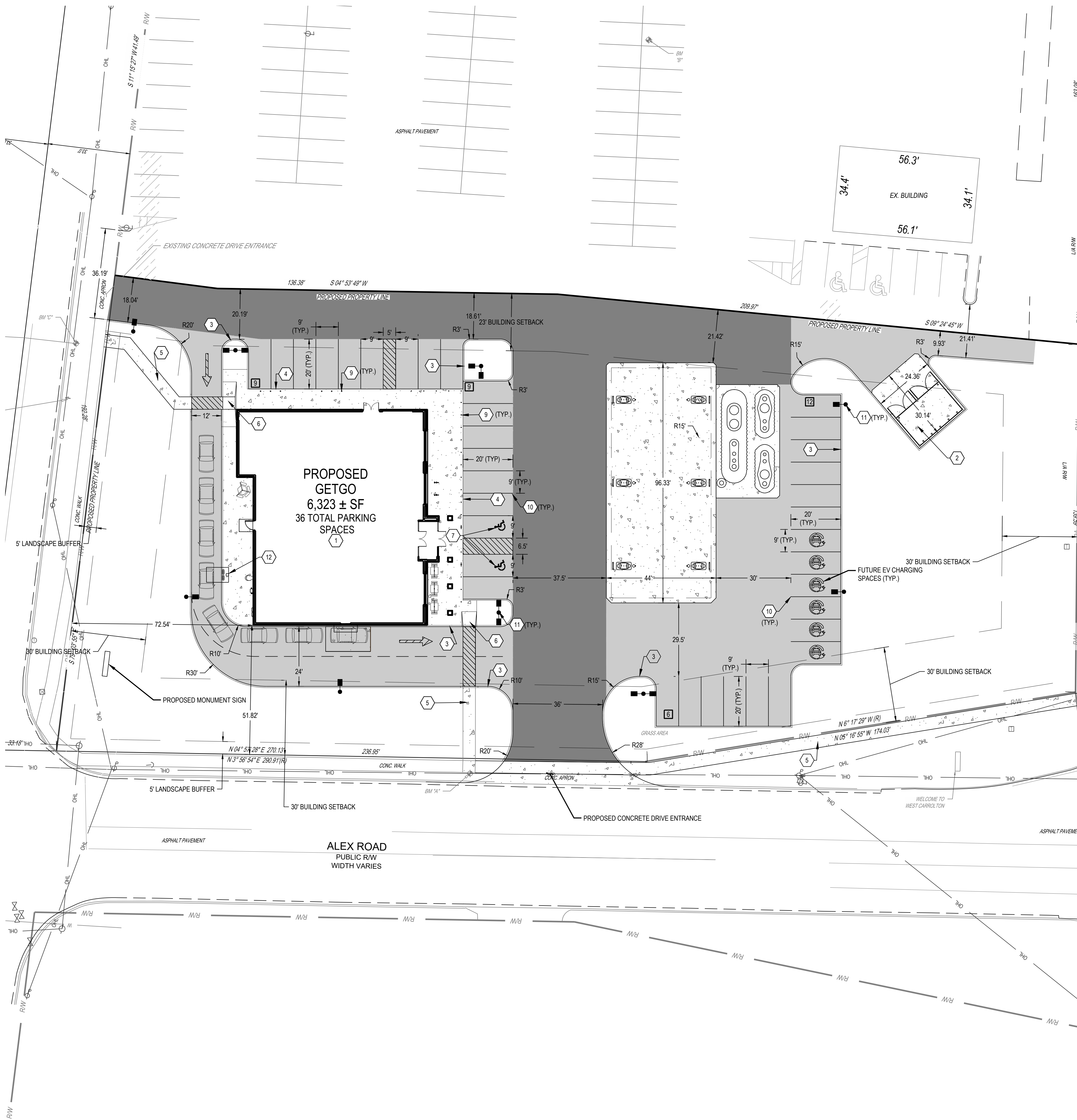
Revisions / Submissions		
ID	Description	Date

Project Number: 761711
Scale: 1" = 20'
Drawn By: JEACDR
Checked By: RAP
Date: 03/03/2023
Issue: CONDITIONAL USE

Drawing Title:
DEMOLITION PLAN

C2.0

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SITE LEGEND

EXISTING

REFER TO ALTA/NSPS FOR EXISTING FEATURES LEGEND

PROPOSED

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	REPLACE IN KIND
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	CENTERLINE
	BUILDING
	CONCRETE CURB PAVEMENT/WALK
	PARKING SPACE COUNT
	SIGN
	DETECTABLE WARNING MAT.
	CATCH BASIN
	STORM MANHOLE
	SANITARY MANHOLE
	CURB INLET
	CLEANOUT
	YARD DRAIN
	DOWN SPOUT
	FIRE HYDRANT
	LIGHT POLE

GENERAL NOTES:
SEE SHEET

CODED NOTES:

1. PROPOSED 6323 SF BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
2. PROPOSED TRASH ENCLOSURE PER LOCAL REQUIREMENTS. SEE ARCHITECTURAL PLAN FOR DETAILS.
3. PROPOSED 6" STRAIGHT CURB. REFER TO CONSTRUCTION DETAILS, SHEET XX.
4. PROPOSED FLUSH CONCRETE CURB. REFER TO DETAIL ON CONSTRUCTION DETAILS SHEET XX.
5. PROPOSED CONCRETE SIDEWALK. SIDEWALK IN RIGHT-OF-WAY SHALL BE CONSTRUCTED BY CITY REQUIREMENTS.
6. PROPOSED CURB RAMP. REFER TO CONSTRUCTION DETAILS, SHEET XX.
7. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET XX.
8. ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP. REFER TO CONSTRUCTION DETAILS, SHEET XX.
9. PROPOSED 4" CONCRETE BOLLARD. REFER TO CONSTRUCTION DETAILS, SHEET XX.
10. PROPOSED PARKING LOT PAVEMENT MARKINGS.
11. PROPOSED LIGHT POLE. REFER TO CONSTRUCTION DETAILS, SHEET XX.
12. DRIVE-THRU SIGNAGE AND ORDER SYSTEM.

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GIANT EAGLE

WEST CARROLLTON, OH

2100 SOUTH ALEX ROAD
WEST CARROLLTON, OHIO 45449

Revisions / Submissions

ID	Description	Date
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Scale: 1" = 20'

Drawn By: JEA/CDR

Checked By: RAP

Date: 03/03/2023

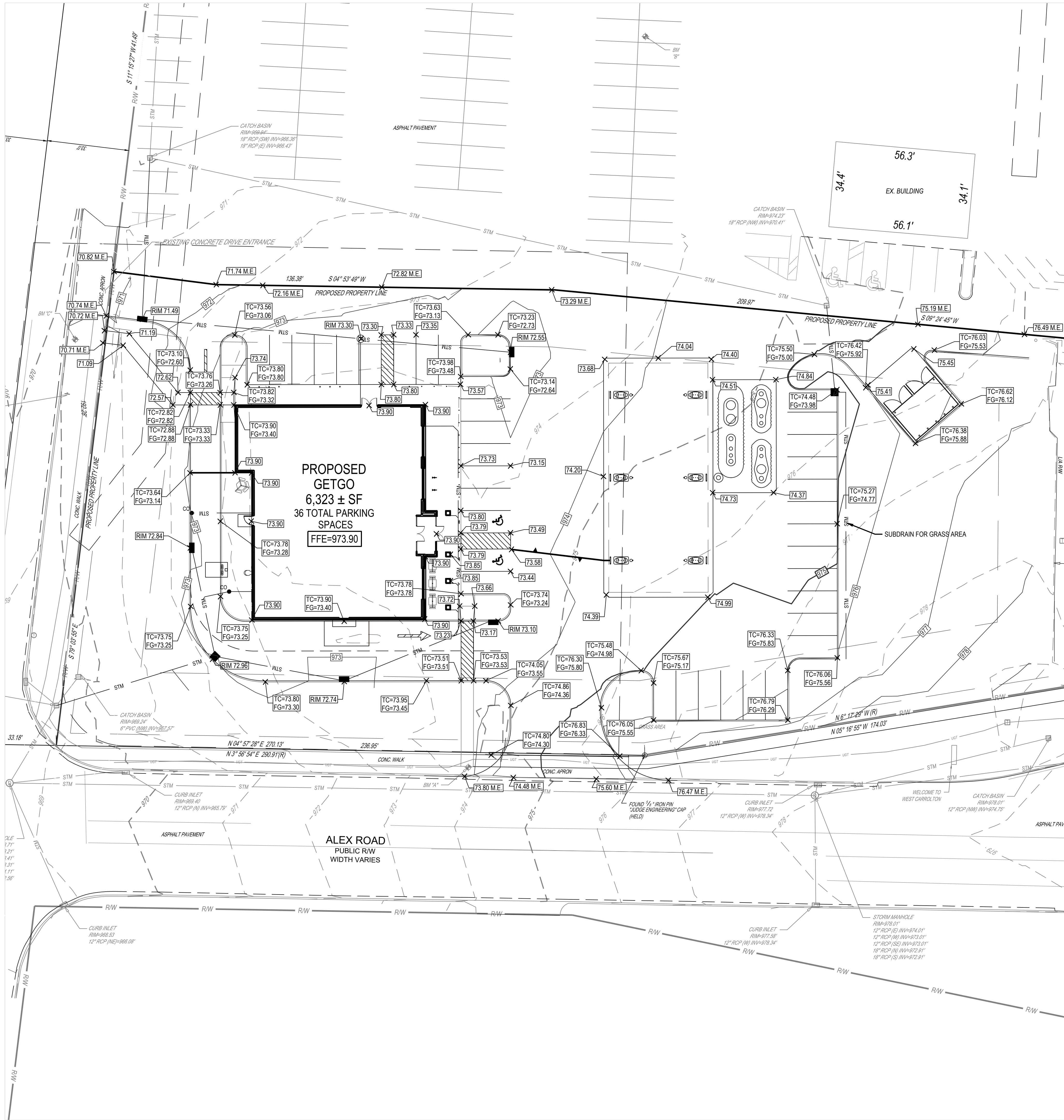
Issue: CONDITIONAL USE

Drawing Title:

SITE PLAN

C2.1

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GRADING LEGEND

EXISTING
REFER TO ALTAIRSPS SURVEY FOR EXISTING FEATURES

PROPOSED

- R/W: RIGHT-OF-WAY
- PROPERTY LINE
- SETBACK
- EASEMENT
- BUILDING
- MAJOR CONTOUR
- MINOR CONTOUR
- GRADE BREAK
- FLOW LINE
- CATCH BASIN
- STORM MANHOLE
- CURB INLET
- CLEANOUT
- FINISHED GRADE ELEVATION
- RIM ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION
- SLOPE ARROW

GENERAL NOTES:
SEE SHEET

BENCHMARK				
	ELEVATION*	NORTHING**	EASTING**	DESCRIPTION
BM "A"	974.86	602651.2210	1477580.5070	BENCH TIE SET IN A LIGHT POLE LOCATED ON THE WEST SIDE OF THE SITE APPROXIMATELY 3' EAST OF THE EAST CURB OF ALEX ROAD AND 13' NORTH OF A CONCRETE ENTRANCEWAY TO THE SHOPPING CENTER
BM "B"	975.87	602559.5900	1477869.2130	CROSS NOTCH SET ON A LIGHT POLE LOCATED IN A PARKING LOT NEAR THE CENTER OF THE SITE
BM "C"	972.46	602797.0570	1477763.4600	CROSS NOTCH SET ON A HYDRANT LOCATED ON THE NORTH SIDE OF THE SITE, APPROXIMATELY 4 FEET SOUTH OF THE CURB ALONG THE SOUTH RIGHT-OF-WAY LANE OF WATERTOWER LANE AND 22' EAST OF A 35 MPH SIGN.

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83

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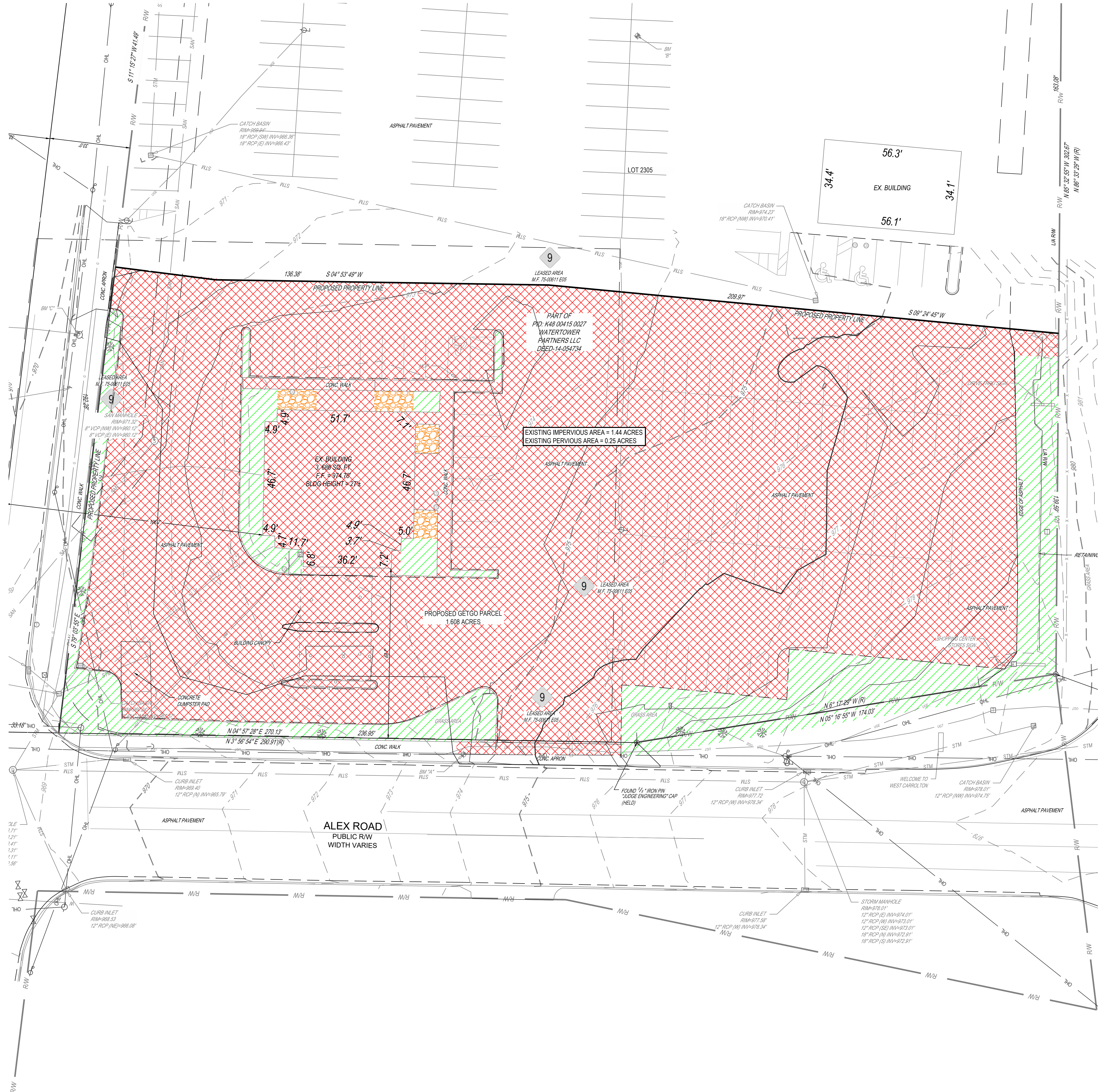
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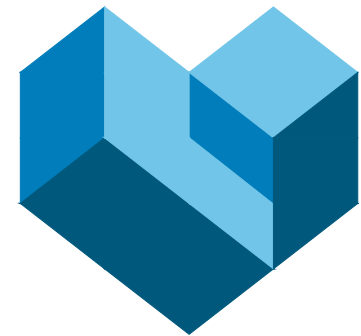
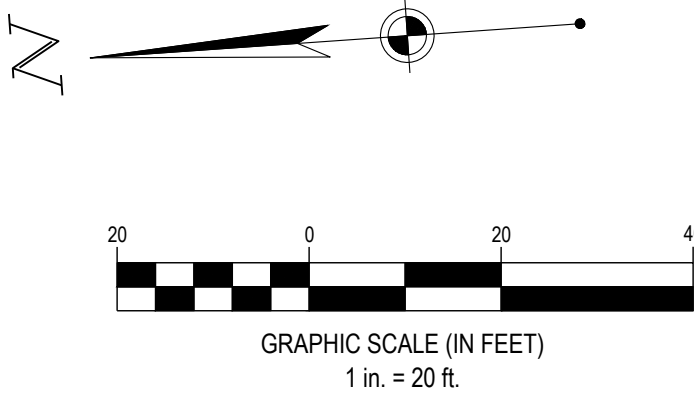
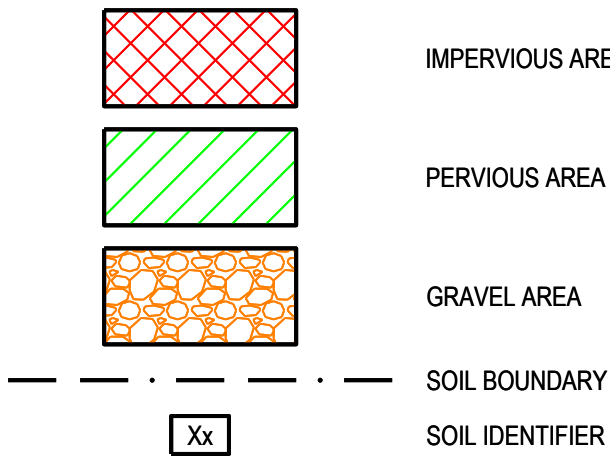
Drawing Title:
GRADING PLAN

C3.1

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PRE-CONSTRUCTION LEGEND



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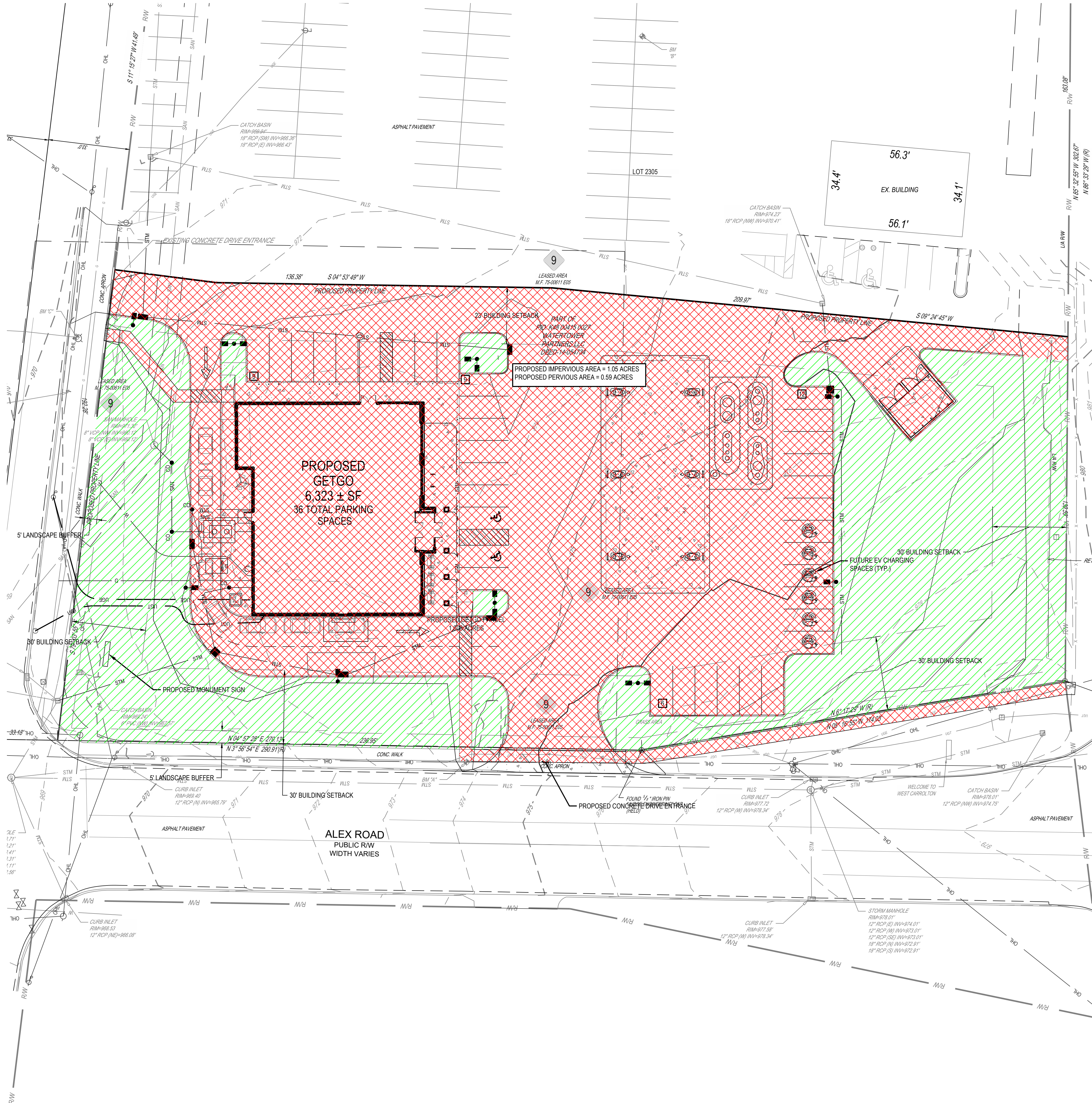
Drawing Title:
**PRE-DEVELOPED
DRAINAGE PLAN**

C3.2

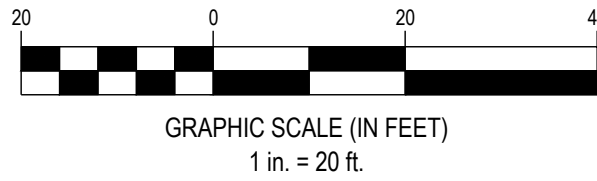
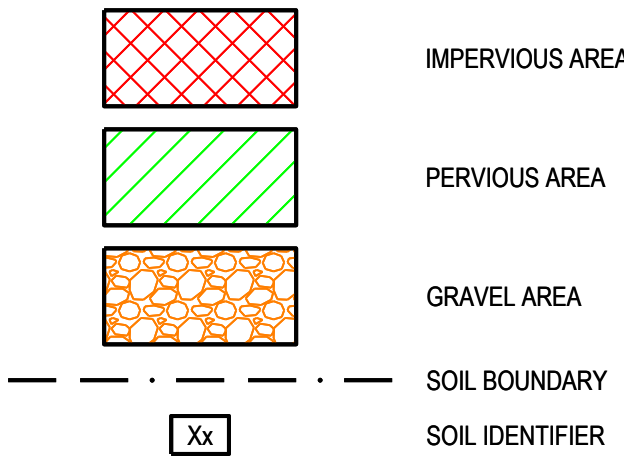
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PRE-CONSTRUCTION LEGEND



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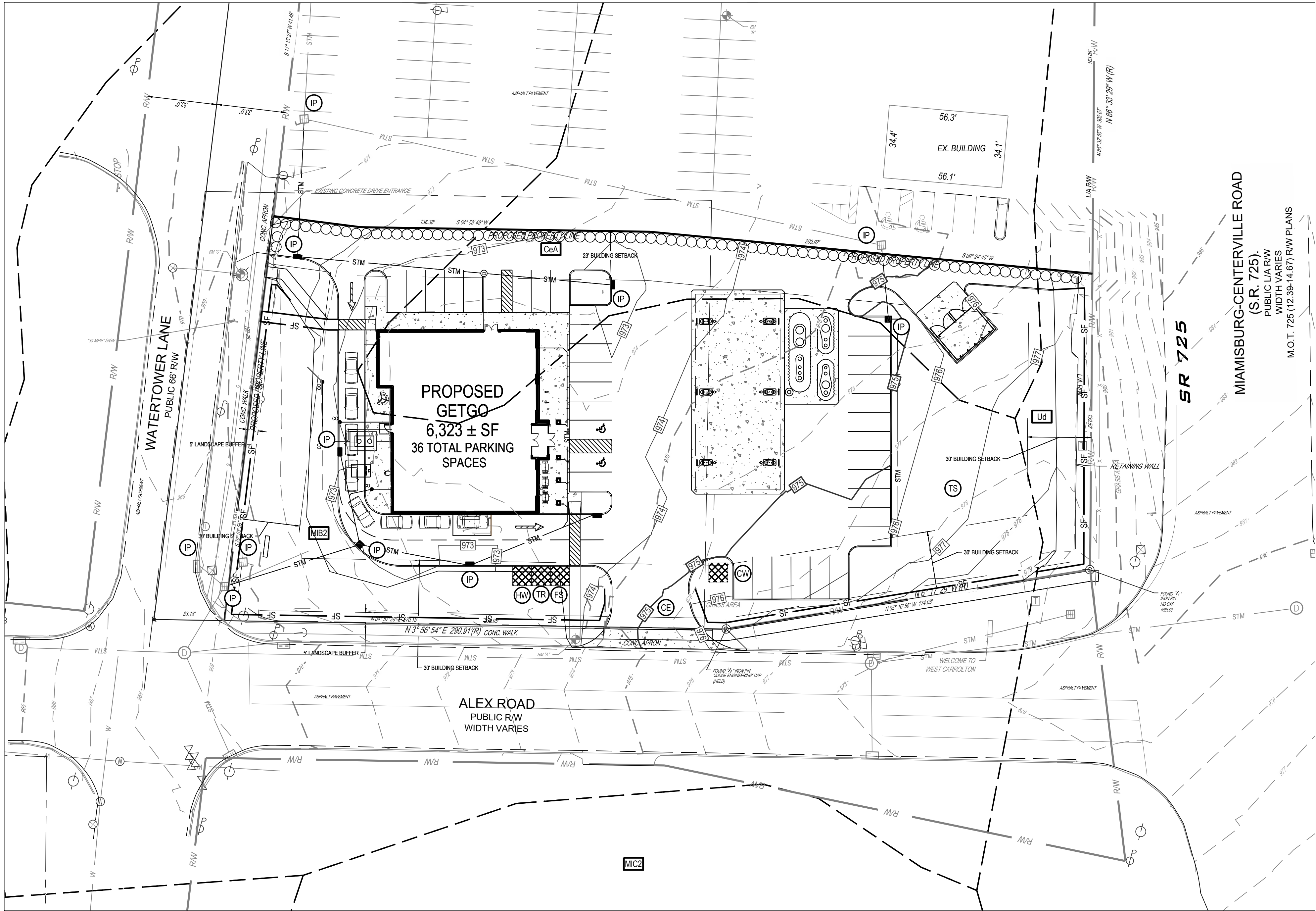
Drawing Title:
**POST-DEVELOPED
DRAINAGE PLAN**

C3.3



FORTY-EIGHT (48) HOURS
BEFORE DIGGING IS TO
COMMENCE, THE CONTRACTORS
SHALL NOTIFY THE FOLLOWING
AGENCIES: OHIO UTILITIES
PROTECTION SERVICE AT 811 OR
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SWPPP GENERAL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO SWPPP AND DETAIL PLANS, ACCORDING TO THE LATEST EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS, ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT.
- SEDIMENT STRUCTURES AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE DEVELOPMENT AREA IS STABILIZED.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN TWENTY ONE (21) DAYS, BUT LESS THAN ONE (1) YEAR.
 - PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:

SEEDINGS: ANNUAL RYEGRASS AT 2.02 POUNDS PER 1,000 S.F.

MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.

FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.

- NO SLOPE SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. ALL NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. AT A MINIMUM SILT FENCE TO BE PLACED AT PERIMETER OF STOCKPILE AREA TO PREVENT SOIL FROM LEAVING THE STOCKPILE AREA.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY. IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION, THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY

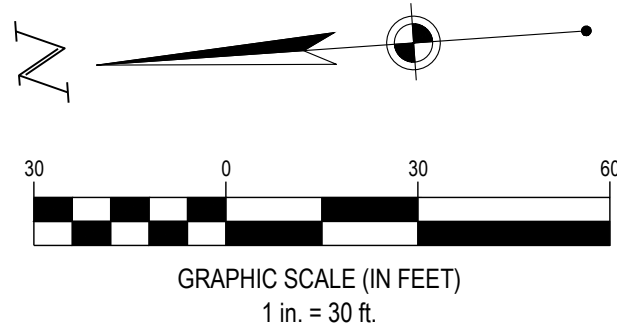
RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.

- ALL Dewatering ACTIVITIES SUCH AS PUMPING DOWN OF FLOODED FOUNDATION AND UTILITY TRENCHES MUST PASS THROUGH THE RETROFITTED DETENTION BASIN OR A SEDIMENT CONTROL PRACTICE PRIOR TO WATER LEAVING THE SITE.
- SILT FENCE AND OTHER PERIMETER EROSION CONTROL MEASURES SHOWN OFF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE PERIMETER EROSION CONTROL MEASURES ARE PLACED AT THE LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.

SWPPP MAINTENANCE NOTES

- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
- INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION. INLET PROTECTION DEVICES SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
- ALL SEEDDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED BY GENERAL CONTRACTOR AND IN GOOD WORKING ORDER AT ALL TIMES. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE) BY GENERAL CONTRACTOR. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- STONE CONSTRUCTION EXIT TO BE MAINTAINED BY GENERAL CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
- ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.

- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE SHALL BE DISPOSED OF IN A STATE APPROVED C&D LANDFILL. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN A STATE APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH ALL LOCAL AND STATE REGULATIONS.
- AREA SHALL BE DESIGNATED BY CONTRACTOR AND SHOWN ON SWPPP MAP FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES.
- THE CONTRACTOR SHALL CONTACT THE STATE EPA, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- CONTRACTOR TO ENSURE STREETS SHALL BE CLEARED OF DEBRIS FROM SITE AND SWEEP CLEAN ON AN AS NEEDED BASIS.



SWPPP LEGEND

EXISTING

REFER TO ALTA/NSPS SURVEY FOR EXISTING FEATURES

PROPOSED

- MAJOR CONTOUR
- MINOR CONTOUR
- PAVEMENT/WALK
- STORM SEWER
- SILT FENCE
- COMPOST SOCK
- LIMIT OF DISTURBANCE
- STORAGE AREA/CONCRETE WASHOUT
- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY SEEDING
- PERMANENT SOD
- HAZARDOUS WASTE STORAGE AREA
- FUEL STORAGE AREA
- CONCRETE WASHOUT AREA
- INLET PROTECTION
- TRASH AREA

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

PLAN ENGINEERS: CESO, INC. 3601 RIGBY DRIVE, SUITE 300 MIAMISBURG, OH 45342 PHONE: (937) 435-8584 FAX: (937) 208-4026 CONTACT: ERIC BOYD
DEVELOPER: GETGO CAFE + MARKET GIANT EAGLE, INC. 101 KAPPA DRIVE PITTSBURGH, PA 15238 PHONE: (412) 508-9028 CONTACT: CHUCK STEWART

THE PROPOSED PROJECT IS THE CONSTRUCTION OF A C-STORE AND AUTOMOTIVE FUELING INCLUDING A C-STORE BUILDING, AUTO FUELING CANOPY AND AUTO PARKING SPACES. THE SUBJECT PARCEL IS 1.61 ACRES. THE TOTAL DISTURBED AREA IS XXX ACRES.

THE SITE DRAINS TO MUNICIPAL STORM SEWER.

ON-SITE SOILS: MB2 GROUP C 72.5%
C6a GROUP C/D 21.9%
U8 NONE 5.6%

THE PRE-EXISTING CONDITIONS ON-SITE IS AN ASPHALT PARKING LOT WITH A TWO STORY BUILDING AND LIMITED GRASS AND OPEN SPACE.

SEQUENCE OF CONSTRUCTION

- NOTIFY CITY/COUNTY ENGINEER BEFORE WORK IS TO BEGIN.
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT.
- SITE DEMOLITION AND CLEARING.
- ROUGH GRADING, PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
- STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
- BUILDING PAD.
- CURB CONSTRUCTION.
- FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
- ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
- FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2768 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



GIANT EAGLE

WEST CARROLLTON, OH

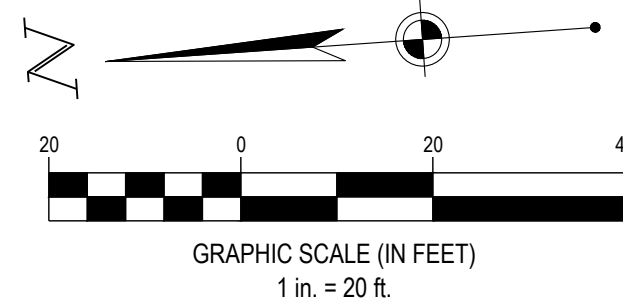
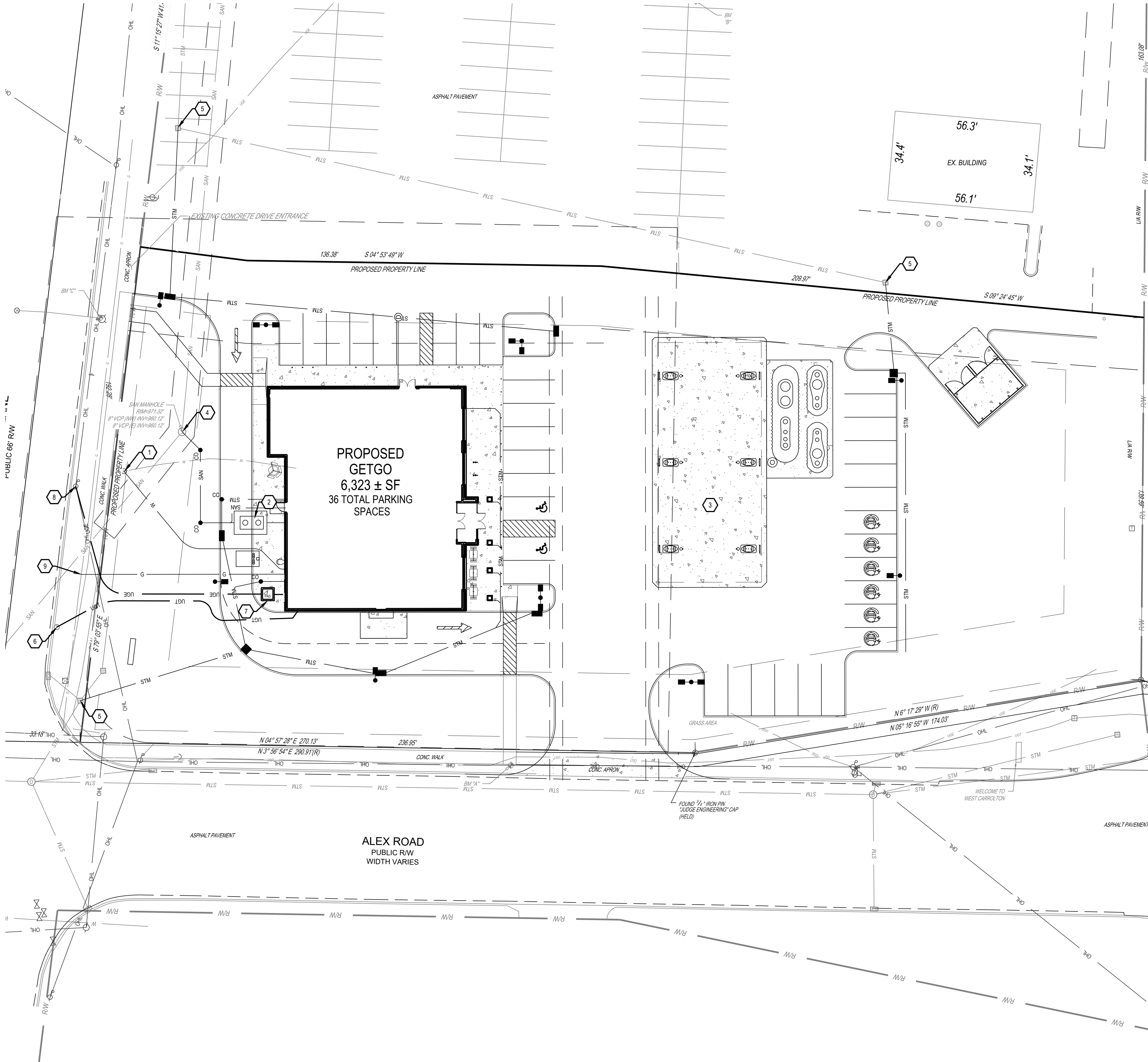
2100 SOUTH ALEX ROAD
WEST CARROLLTON, OHIO 45449

Revisions / Submissions		
ID	Description	Date

Project Number: 761711
Scale: 1" = 30'
Drawn By: JEA/CDR
Checked By: RAP
Date: 03/03/2023
Issue: CONDITIONAL USE

Drawing Title:
SWPPP

C4.0



UTILITY LEGEND	
EXISTING	
REFER TO ALTA/NSPS FOR EXISTING FEATURES LEGEND	
PROPOSED	
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	DOMESTIC WATER SERVICE LINE
	GAS SERVICE LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	FORCEMAIN
	UNDERGROUND TELEPHONE LINE
	OVERHEAD TELEPHONE LINE
	CATCH BASIN
	STORM SEWER
	SANITARY SEWER
	CURB INLET
	CLEANOUT
	YARD DRAIN
	DOWNSPOUT
	ELECTRICAL TRANSFORMER PAD
	FIRE HYDRANT
	WATER VALVE

GENERAL NOTES:
SEE SHEET

CODED NOTES:

- CONNECT TO EXISTING WATER SERVICE LATERAL/WATER VALVE.
- GREASE TRAP
- LIGHT FIXTURES MOUNTED ON THE FUEL CANOPY SHALL BE RECESSED OR FLUSH WITH THE BOTTOM OF THE CANOPY. DOWNCAST, AND/OR EQUIPPED WITH SHIELDING TO PREVENT GLARE BEYOND THE PROPERTY LINES.
- CONNECTION AT EXISTING SANITARY MANHOLE.
- CONNECTION AT EXISTING STORM SEWER.
- CONNECTION AT EXISTING TELEPHONE MANHOLE.
- TRANSFORMER
- CONNECT TO ELECTRIC AT EXISTING UTILITY POLE.
- CONNECT TO EXISTING GAS LINE.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



GIANT EAGLE

WEST CARROLLTON, OH

2100 SOUTH ALEX ROAD
WEST CARROLLTON, OHIO 45449

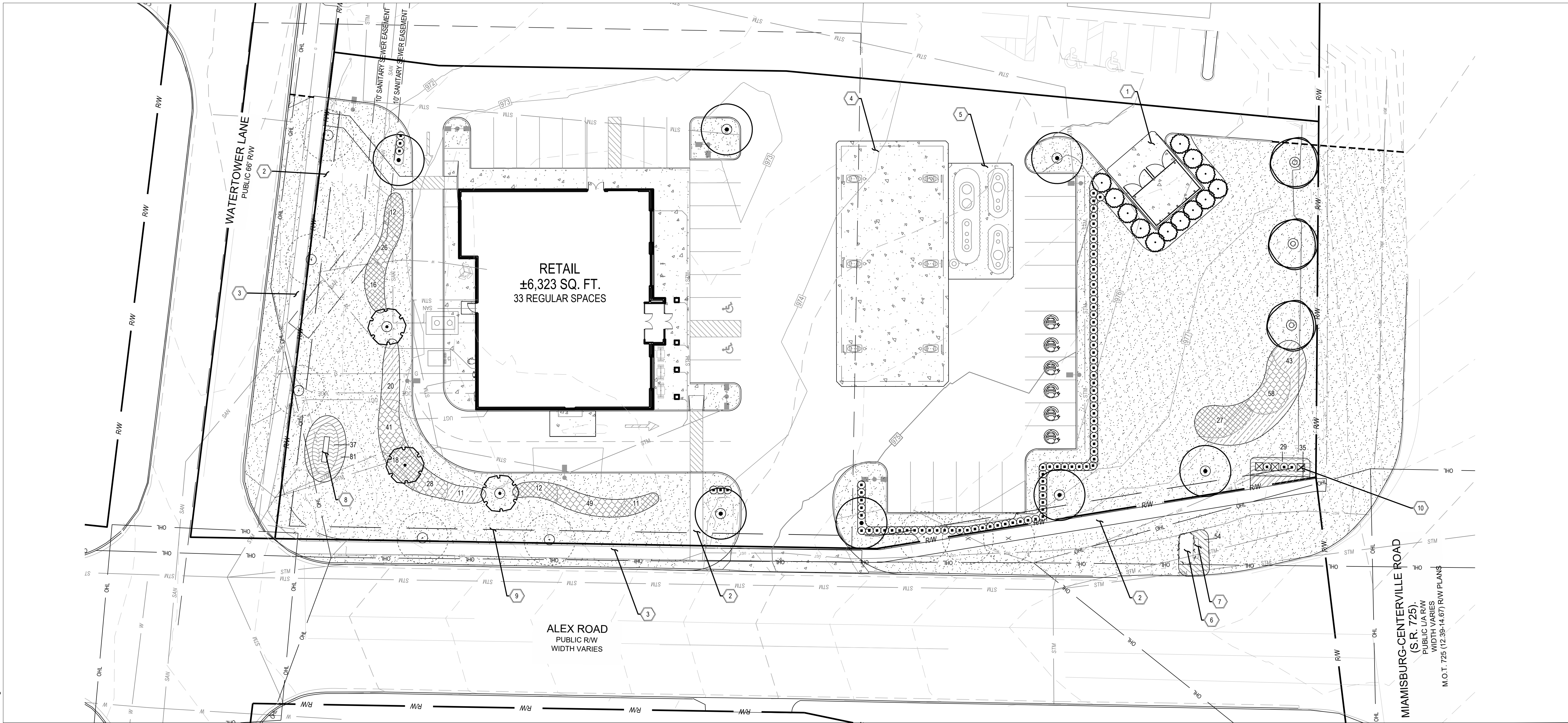
Revisions / Submissions		
ID	Description	Date

Project Number:	761711
Scale:	1" = 20'
Drawn By:	JE/CDR
Checked By:	RAP
Date:	03/03/2023
Issue:	CONDITIONAL USE

Drawing Title:
UTILITY PLAN

C5.0

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PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	3	CORNUS KOUSA KOUSA DOGWOOD	2" CAL.	10' HT	AS SHOWN
	13	ILEX X 'NELLIE R. STEVENS' NELLIE R. STEVENS HOLLY	---	6' HT.	8'-0" O.C.
	3	QUERCUS RUBRA RED OAK	2" CAL.	12-14' HT	AS SHOWN
	7	ULMUS PARVIFOLIA LACEBARK ELM	2" CAL.	12-14' HT	AS SHOWN
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	90	BUXUS SINICA INSULARIS 'WINTERGREEN' WINTERGREEN KOREAN BOXWOOD	---	18' HT.	3'-0" O.C.
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	66	ROSA X 'MEIGALPIO' RED DRIFT® GROUND COVER ROSE	---	12" HT	2'-0" O.C.
NUMBER INDICATED ON HATCH THROUGHOUT THE DRAWING REFLECTS THE NUMBER OF PLANTS IN THAT PARTICULAR AREA					
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	202	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	---	18" HT.	2'-0" O.C.
	34,844 SF	CYNODON DACTYLON BERMUDA GRASS	SOD		
	170	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF	1 GAL	12" HT	1'-6" OC

	96	MISCANTHUS SINENSIS 'AUTUMN RED' AUTUMN RED MAIDEN GRASS	---	18" HT.	3'-0" O.C.
	74	PENNISETUM ALOPECUROIDES 'HAAMELN' HAAMELN FOUNTAIN GRASS	---	18" HT.	3'-0" O.C.
	X	EXISTING TREES TO REMAIN/REMOVE CONTRACTOR TO PROTECT WITHIN DRIP LINES			SEE TREE PROTECTION & DEMOLITION PLANS

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF HARDWOOD MULCH
- CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

LANDSCAPE REQUIREMENTS

VEHICULAR USE AREAS

PROPOSED PARKING: 36 SPACES/29,017 SF
REQUIRED INTERIOR LANDSCAPING: 1,450 SF (29,017/5)
PROPOSED INTERIOR AREA: 1,450 SF
PROPOSED AREA COVERED BY STRUCTURES AND PAVEMENT: 45,300 SF
REQUIRED TREES: 19 ((45,300/5000)²)
PROPOSED TREES: 19 (13 PROPOSED, 6 EXISTING)

SERVICE AREAS

REQUIRED SCREENING: CONTINUOUS SCREENING ON THREE SIDES
PROPOSED SCREENING: CONTINUOUS SCREENING ON THREE SIDES

PARKING BUFFER

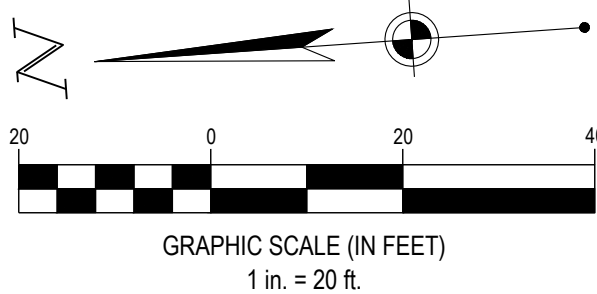
REQUIRED SHRUBS: SHRUBS 3' O.C.
PROPOSED SHRUBS: SHRUBS 3' O.C.
REQUIRED WIDTH: 5'
PROPOSED WIDTH: 8'

LEGEND

	R/W	RIGHT OF WAY LINE
		LOT LINE
		PROPERTY BOUNDARY LINE
		EASEMENT LINE
	OHL	OVERHEAD POWER LINE
	STM	STORM DRAIN
	SAN	SANITARY SEWER
	W	WATER LINE
	G	GAS LINE
	UGT	UNDERGROUND TELEPHONE LINE
	UGE	UNDERGROUND ELECTRIC LINE
	X	FENCE
		SOD LIMIT
	102	MAJOR EXISTING CONTOUR
	102	MINOR EXISTING CONTOUR
	960	MINOR ENGINEERED CONTOUR
	962	MAJOR ENGINEERED CONTOUR

CODED NOTES:

- PROPOSED TRASH ENCLOSURE
- PROPOSED CONCRETE SIDEWALK
- EXISTING SIDEWALK
- FUELING DISPENSER
- UNDERGROUND TANK
- EXISTING SHRUBS TO REMAIN
- EXISTING WELCOME TO THE CITY SIGN
- PROPOSED MONUMENT SIGN
- 5' LANDSCAPE BUFFER
- EXISTING GETGO SIGN (TO BE RENOVATED)



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



GIANT EAGLE

WEST CARROLLTON, OH

2100 SOUTH ALEX ROAD
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Revisions / Submissions		
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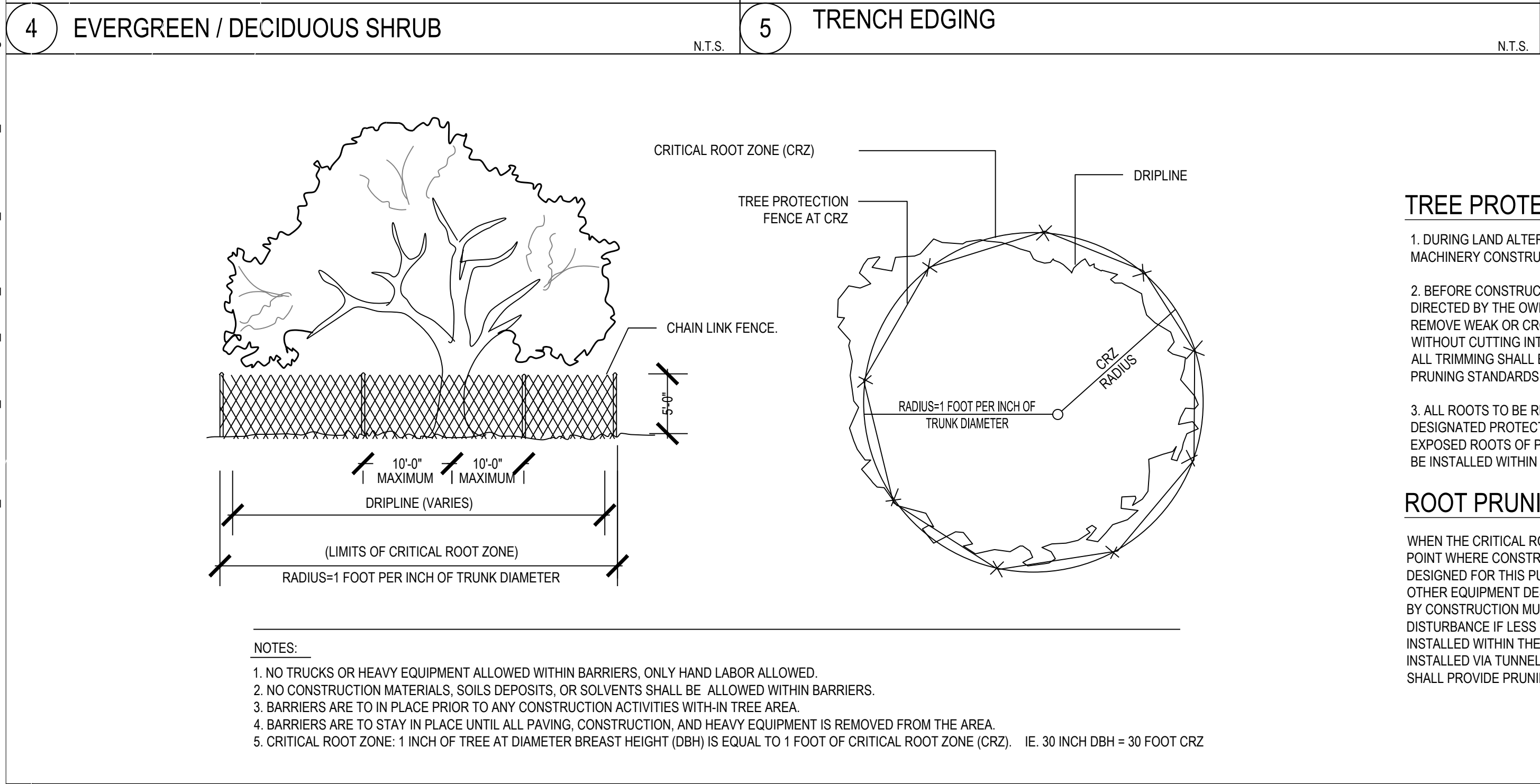
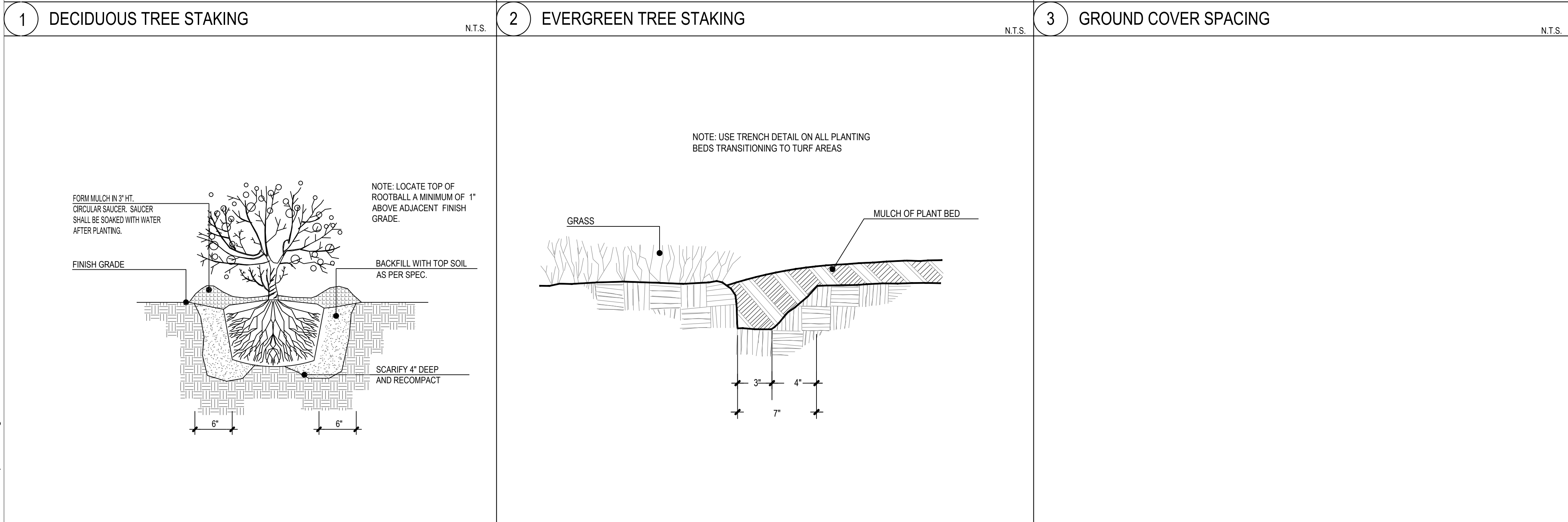
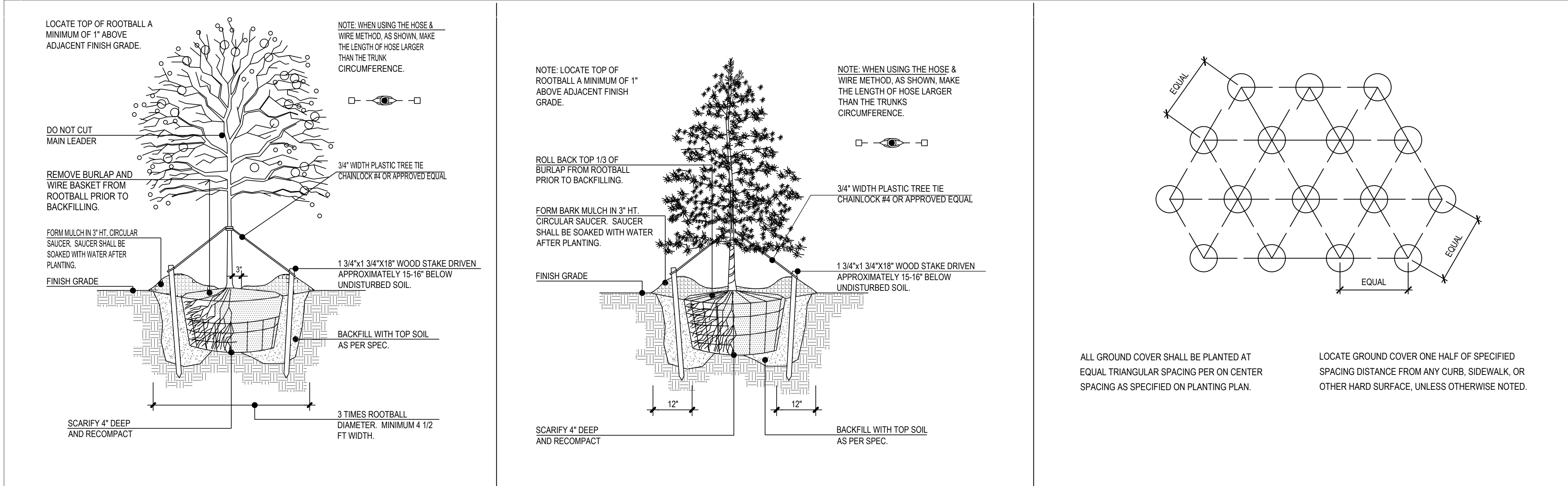
Project Number: 761711
Scale: 1" = 20'
Drawn By: PS
Checked By: CJC/MS
Date: 03/01/2023
Issue: CONDITIONAL USE

Drawing Title:

LANDSCAPE PLAN

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GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE, SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS. IF APPLICABLE, LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ONSITE)

- THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
 - ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
 - ONE PART NATIVE SOIL
- SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.



GIANT EAGLE

WEST CARROLLTON, OH

2100 SOUTH ALEX ROAD
WEST CARROLLTON, OHIO 45449

Revisions / Submissions		
ID	Description	Date
Project Number: 761711		
Scale: -		
Drawn By: PS		
Checked By: CJC/MS		
Date: 03/03/2023		
Issue: CONDITIONAL USE		
Drawing Title:		

LANDSCAPE DETAILS

L1.1

EXHIBIT "A" LEGAL DESCRIPTION

(FROM TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-1138446-AKR, WITH A COMMITMENT DATE OF JULY 11, 2022 AT 7:30 A.M.)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MONTGOMERY, STATE OF OHIO, AND IS DESCRIBED AS FOLLOWS: SITUATED IN THE CITY OF WEST CARROLLTON, COUNTY OF MONTGOMERY, STATE OF OHIO; AND KNOWN AS BEING LOTS NUMBERED 2303, 2304 AND 2305 OF THE CONSECUTIVE LOT NUMBERS OF SAID CITY OF WEST CARROLLTON, AND BEING A TRACT OF LAND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A SPIKE AT THE INTERSECTION OF THE CENTERLINE OF WATER TOWER LANE WITH THE EAST RIGHT-OF-WAY LINE OF ALEX ROAD; THENCE FROM SAID POINT OF BEGINNING, SOUTH 80 DEG. 04' 29" EAST WITH SAID CENTERLINE A DISTANCE OF 681.78 FEET TO A SPIKE AT THE NORTHWEST CORNER OF CITY LOT NO. 2302; THENCE SOUTH 6 DEG. 04' 31" WEST WITH THE WEST LINE OF SAID LOT 2302 A DISTANCE OF 189.82 FEET TO AN IRON PIN AT THE SOUTHWEST CORNER OF SAID LOT; THENCE SOUTH 84 DEG. 25' 00" EAST WITH THE SOUTH LINE OF SAID LOT A DISTANCE OF 135.00 FEET TO AN IRON PIN AT A CORNER OF CITY LOT NO. 4106; THENCE SOUTH 6 DEG. 11' 42" WEST WITH THE WEST LINE OF SAID LOT 4106 A DISTANCE OF 182.55 FEET TO AN IRON PIN ON THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROUTE 725; THENCE WITH SAID RIGHT-OF-WAY ON THE FOLLOWING COURSES: NORTH 83 DEG. 54' 59" WEST A DISTANCE OF 97.46 FEET TO A POINT; THENCE NORTH 6 DEG. 01' 51" WEST A DISTANCE OF 101.77 FEET TO A POINT; THENCE NORTH 84 DEG. 16' 59" WEST A DISTANCE OF 32.00 FEET TO A POINT; THENCE SOUTH 84 DEG. 28' 18" WEST A DISTANCE OF 40.08 FEET TO A POINT; THENCE SOUTH 19 DEG. 58' 27" WEST A DISTANCE OF 74.17 FEET TO A POINT; THENCE NORTH 80 DEG. 56' 59" WEST A DISTANCE OF 129.29 FEET TO A POINT; THENCE NORTH 83 DEG. 22' 59" WEST A DISTANCE OF 148.39 FEET TO A POINT; THENCE NORTH 86 DEG. 33' 29" WEST A DISTANCE OF 302.67 FEET TO AN IRON PIN ON THE SAID RIGHT-OF-WAY LINE OF ALEX ROAD; THENCE WITH SAID RIGHT-OF-WAY ON THE FOLLOWING COURSES: NORTH 6 DEG. 17' 29" WEST A DISTANCE OF 174.03 FEET TO AN IRON PIN; THENCE NORTH 3 DEG. 56' 54" EAST A DISTANCE OF 270.91 FEET TO THE PLACE OF BEGINNING, CONTAINING 6.663 ACRES, MORE OR LESS, THE FOREGOING IS A NEW DESCRIPTION PREPARED BY THOMAS MCDUGALL, REGISTERED SURVEYOR, STATE OF OHIO NO. 6568. PPN: K48-00415-0027

SCHEDULE BII ITEMS:

(FROM TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-1138446-AKR, WITH A COMMITMENT DATE OF JULY 11, 2022 AT 7:30 A.M.)

ITEMS 1-8, AND 20-22 ARE NOT SURVEY RELATED.

SCHEDULE BII ITEMS:

9. LEASE AND THE TERMS, COVENANTS AND CONDITIONS THEREOF BETWEEN IMPERIAL SQUARE, AN OHIO PARTNERSHIP, AS LESSOR AND THE FIRST NATIONAL BANK, MONTGOMERY, OHIO, A NATIONAL BANKING CORPORATION, AS LESSEE, DISCLOSED BY MEMORANDUM OF LEASE, RECORDED JULY 30, 1975, AS MICROFICHE NO. 75-00611 E03 OF MONTGOMERY COUNTY RECORDS, ABOVE LEASE TERM OF 25 YEARS INCLUDING TWO (2) SUCCESSIVE 25 - YEAR OPTIONS TO EXTEND THE LEASE.
10. LEASED AREA SHOWN HEREON
11. RESERVATION OF EASEMENT FOR ROAD PURPOSES IN DEED, GRANTEE: SCOTT-RAND COMPANY DATED: APRIL 19, 1966 RECORDED: SEPTEMBER 16, 1966 IN DEED BOOK 2329, PAGE 296 OF MONTGOMERY COUNTY RECORDS
12. RESERVATION OF EASEMENTS IN DEED, GRANTEE: IMPERIAL SQUARE, A PARTNERSHIP CONSISTING OF SIDNEY F. WEINER, KENNETH E. LEBENSBURGER, W. TERRY LYONS AND THOMAS V. LYONS DATED: DECEMBER 24, 1973 RECORDED: DECEMBER 27, 1973 AS MICROFICHE NO. 73-657 E03 OF MONTGOMERY COUNTY RECORDS
13. PART OF SURVEYED PROPERTY IS DESCRIBED. NO EASEMENTS DESCRIBED IN THE PROVIDED DOCUMENT.
14. RESERVATION OF EASEMENTS, CONDITIONS AND RESTRICTIONS IN DEED, GRANTEE: IMPERIAL SQUARE, A PARTNERSHIP CONSISTING OF SIDNEY F. WEINER, KENNETH E. LEBENSBURGER, W. TERRY LYONS AND THOMAS LYONS DATED: DECEMBER 24, 1973 RECORDED: DECEMBER 27, 1973 AS MICROFICHE NO. 73-657 E03 OF MONTGOMERY COUNTY RECORDS
15. PART OF SURVEYED PROPERTY IS DESCRIBED. NO EASEMENTS DESCRIBED IN THE PROVIDED DOCUMENT.
16. RIGHT OF WAY EASEMENT IN FAVOR OF BOARD OF COUNTY COMMISSIONERS OF MONTGOMERY COUNTY, OHIO FILED FOR RECORD AS MICROFICHE NO. 75-298 B09 OF MONTGOMERY COUNTY RECORDS. SUBJECT TO THE TERMS AND CONDITIONS THEREOF.
17. EASEMENT IS NOT ON SURVEYED PROPERTY AND SHOWN HEREON
18. RIGHT OF WAY EASEMENT IN FAVOR OF CITY OF MIAMISBURG, OHIO FILED FOR RECORD AUGUST 12, 1975, AS MICROFICHE NO. 75-367 D09 OF MONTGOMERY COUNTY RECORDS. SUBJECT TO THE TERMS AND CONDITIONS THEREOF.
19. EASEMENT IS ON SURVEYED PROPERTY AND SHOWN HEREON
20. RIGHT OF WAY EASEMENT IN FAVOR OF THE DAYTON POWER AND LIGHT COMPANY FILED FOR RECORD OCTOBER 15, 1976, AS MICROFICHE NO. 76-534 D01 OF MONTGOMERY COUNTY RECORDS. SUBJECT TO THE TERMS AND CONDITIONS THEREOF.
21. EASEMENT IS NOT ON SURVEYED PROPERTY AND SHOWN HEREON
22. RESERVATIONS, RESTRICTIONS, COVENANTS, LIMITATIONS, EASEMENTS, AND/OR CONDITIONS IN DEED, RECORDED: AUGUST 11, 1977 AS MICROFICHE NO. 77-445 B04 OF MONTGOMERY COUNTY RECORDS
23. PART OF SURVEYED PROPERTY IS DESCRIBED. NO EASEMENTS DESCRIBED IN THE PROVIDED DOCUMENT.
24. RIGHT OF WAY EASEMENT IN FAVOR OF BOARD OF COUNTY COMMISSIONERS OF MONTGOMERY COUNTY, OHIO FILED FOR RECORD AUGUST 31, 1977, AS MICROFICHE NO. 77-496 A12 OF MONTGOMERY COUNTY RECORDS. SUBJECT TO THE TERMS AND CONDITIONS THEREOF.
25. EASEMENT IS NOT ON SURVEYED PROPERTY AND SHOWN HEREON
26. RIGHT OF WAY EASEMENT IN FAVOR OF THE DAYTON POWER AND LIGHT COMPANY FILED FOR RECORD MARCH 28, 1980, AS MICROFICHE NO. 80-127 C12 OF MONTGOMERY COUNTY RECORDS. SUBJECT TO THE TERMS AND CONDITIONS THEREOF.
27. EASEMENT IS NOT ON SURVEYED PROPERTY AND SHOWN HEREON
28. LEASE AND THE TERMS, COVENANTS AND CONDITIONS THEREOF BETWEEN IMPERIAL SQUARE, AN OHIO PARTNERSHIP, AS LESSOR AND LOJO III, INC., AN OHIO CORPORATION, AS LESSEE, DISCLOSED BY MEMORANDUM OF LEASE, RECORDED JANUARY 25, 1977, AS MICROFICHE NO. 77-71 A02 OF MONTGOMERY COUNTY RECORDS.
29. ASSIGNED TO LONG JOHN SILVER'S, INC. BY INSTRUMENT RECORDED APRIL 18, 2001 INAS INSTRUMENT NO. ALE-01-040318 OF MONTGOMERY COUNTY RECORDS.
30. ASSIGNED TO AFFINITY FLETCHER 102, INC. BY INSTRUMENT RECORDED JULY 23, 2008 INAS INSTRUMENT NO. ALE-08-052796 OF MONTGOMERY COUNTY RECORDS.
31. SURVEYED PROPERTY IS DESCRIBED. NO EASEMENTS DESCRIBED IN THE PROVIDED DOCUMENT.

SURVEYORS CERTIFICATION

TO: WATERTOWER PARTNERS, LLC, A COLORADO LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY.

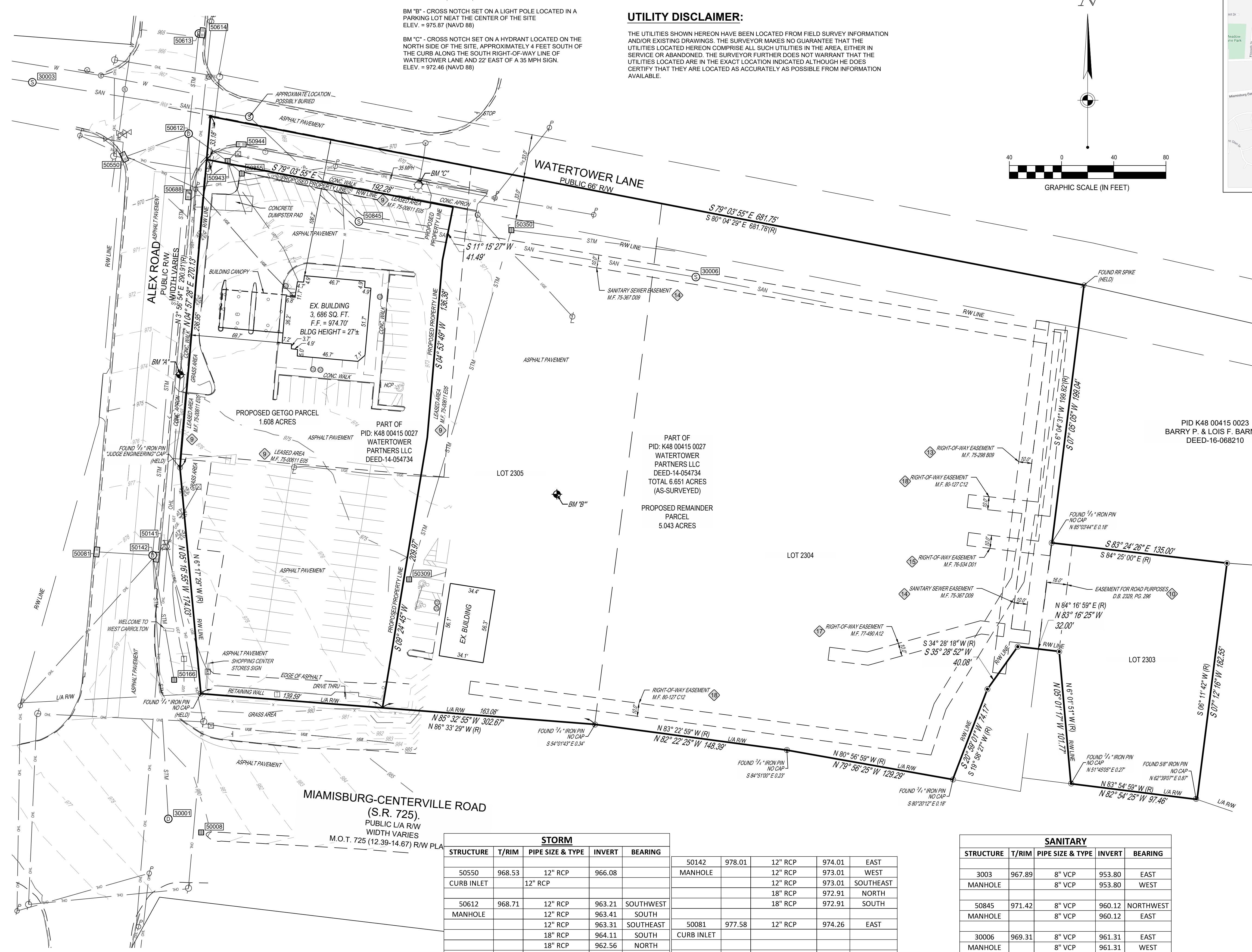
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 14, 16, AND 17, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN NOVEMBER 2022.

DATE OF PLAT OR MAP: MARCH 2, 2023

SEAN T. BROOKS, P.S.
STATE PROFESSIONAL SURVEYOR #8828

ALTA / NSPS LAND TITLE SURVEY

3856 MIAMISBURG-CENTERVILLE ROAD
LOTS 2303, 2304, & 2305 OF CONSECUTIVE LOTS OF CITY OF WEST CARROLLTON
WEST CARROLLTON, MONTGOMERY COUNTY, OHIO



BENCHMARKS:

BM "A" - BENCH THE SET IN A LIGHT POLE LOCATED ON THE WEST SIDE OF THE SITE APPROXIMATELY 3' EAST OF THE EAST CURB OF ALEX ROAD AND 13' NORTH OF A CONCRETE ENTRANCEWAY TO THE SHOPPING CENTER.
ELEV. = 974.86 (NAVD 88)

BM "B" - CROSS NOTCH SET ON A LIGHT POLE LOCATED IN A PARKING LOT NEAR THE CENTER OF THE SITE
ELEV. = 975.87 (NAVD 88)

BM "C" - CROSS NOTCH SET ON A HYDRANT LOCATED ON THE NORTH SIDE OF THE SITE, APPROXIMATELY 4 FEET SOUTH OF THE CURB ALONG THE SOUTH RIGHT-OF-WAY LINE OF WATERTOWER LANE AND 22' EAST OF A 35 MPH SIGN.
ELEV. = 972.48 (NAVD 88)

FLOOD ZONE STATEMENT:

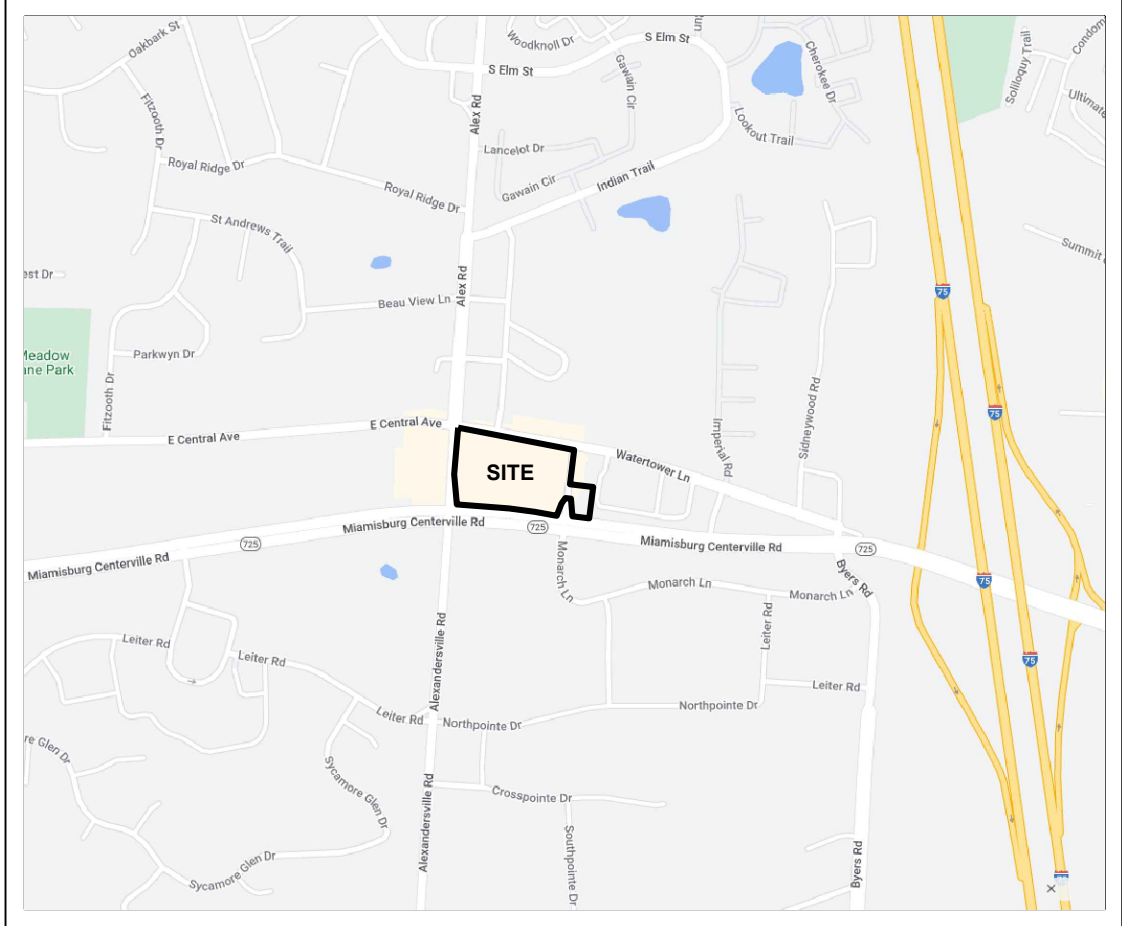
BY INFORMATION PROVIDED BY FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3913C0265E, WHICH BEARS AN EFFECTIVE DATE OF JANUARY 6, 2005.

UTILITY DISCLAIMER:

THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

ZONING REPORT:

NO ZONING REPORT PROVIDED



VICINITY MAP:

NOT TO SCALE

MONUMENT LEGEND:

- MONUMENT FOUND AS NOTED
- 5/8"x30" IRON PIN WITH "CESO" CAP SET
- FOUND MAG NAIL
- SET MAG NAIL

LEGEND:

- BENCHMARK
- RECORD DATA
- EXISTING DECIDUOUS / CONIFEROUS TREE
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING CATCH BASIN / CURB INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER METER / WATER VALVE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING ELECTRIC METER / ELECTRIC BOX
- EXISTING ELECTRIC TRANSFORMER
- EXISTING CABLE / TELEPHONE BOX

- PROPERTY BOUNDARY
- ADJOINER PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- EXISTING FENCE LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING OVERHEAD TELEPHONE
- EXISTING OVERHEAD UTILITY WIRES

SURVEYOR'S NOTES:

- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE PARCEL SHOWN HEREON WERE OBTAINED THROUGH A CERTIFIED TITLE COMMITMENT CONDUCTED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-1138446-AKR, WITH A COMMITMENT DATE OF JULY 11, 2022 AT 7:30 A.M.
- ALL DATA SOURCES, DOCUMENTS AND RECORDS SHOWN HEREON ARE ON FILE IN THE MONTGOMERY COUNTY RECORDERS OFFICE LOCATED IN DAYTON, OHIO.
- OCCUPATION IN GENERAL MATCHED THE SURVEY.
- HORIZONTAL DATUM - U.S. STATE PLANE, NAD83 OHIO SOUTH (3402) ESTABLISHED FROM UTILIZING THE OHIO REAL TIME NETWORK (RTN) PROVIDED BY THE OHIO DEPARTMENT OF TRANSPORTATION. COORDINATES TAKEN TO GROUND AT LATITUDE N39°38'31"85140", LONGITUDE W84°14'33.66682", PROJECT HEIGHT 860.754' GROUND SCALE FACTOR 1.00009516155015.
- THERE ARE A TOTAL OF 98 PARKING SPACES OF WHICH 1 ARE ADA ACCESSIBLE.
- NO DIVISION OR PARTY WALLS OBSERVED ON THE SURVEYED PROPERTY.
- NO EVIDENCE OF RECENT EARTH MOVEMENT, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED ON THE SURVEY PROPERTY AT THE TIME OF THE FIELDWORK.
- NO CHANGES OF STREET RIGHT-OF-WAY LINES WERE PROVIDED TO THE SURVEYOR AT THE TIME OF THIS SURVEY.

STORM				
STRUCTURE	T/RIM	PIPE SIZE & TYPE	INVERT	BEARING
50550	968.53	12" RCP	966.08	
CURB INLET		12" RCP		
50612	968.71	12" RCP	963.21	SOUTHWEST
MANHOLE		12" RCP	963.41	SOUTH
		12" RCP	963.31	SOUTHEAST
		18" RCP	964.11	SOUTH
		18" RCP	962.56	NORTH
50613	964.91	18" RCP	959.71	SOUTH
MANHOLE				
50943	969.29	6" PVC	967.05	SOUTHEAST
CATCH BASIN		4" PVC	966.85	SOUTH
		6" PVC	967.03	NORTHEAST
		12" RCP	965.03	NORTHWEST
50855	969.24	6" PVC	967.57	NORTHWEST
CATCH BASIN				
50944	968.87	6" PVC	967.45	SOUTHWEST
CURB INLET				
50688	969.40	12" RCP	965.79	NORTH
CURB INLET				

50142	978.01	12" RCP	974.01	EAST
MANHOLE		12" RCP	973.01	WEST
		12" RCP	973.01	SOUTHEAST
		18" RCP	972.91	NORTH
		18" RCP	972.91	SOUTH
50081	977.58	12" RCP	974.26	EAST
CURB INLET				
50141	977.72	12" RCP	978.34	WEST
CURB INLET				
50166	978.01	12" RCP	974.75	NORTHWEST
CATCH BASIN				
30001	979.26	18" RCP		NORTH
MANHOLE				
50309	974.23	18" RCP	970.41	NORTHEAST
CATCH BASIN				
50350	969.94	18" RCP	966.36	SOUTHWEST
CATCH BASIN		18" RCP	966.43	EAST

SANITARY				
STRUCTURE	T/RIM	PIPE SIZE & TYPE	INVERT	BEARING
3003	967.89	8" VCP	953.80	EAST
MANHOLE		8" VCP	953.80	WEST
50845	971.42	8" VCP	960.12	NORTHWEST
MANHOLE		8" VCP	960.12	EAST
30006	969.31	8" VCP	961.31	EAST
MANHOLE		8" VCP	961.31	WEST

REVISIONS		
NO.	DATE	DESCRIPTION
1	3/1/2023	UTILITY POLES ALONG ALEX RD.

SURVEYOR:

CESO, INC.
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OHIO 45342
(937) 435-8584

ALTA/NSPS LAND TITLE SURVEY

GETGO WEST CARROLLTON

3856 MIAMISBURG-CENTERVILLE ROAD
CITY OF WEST CARROLLTON

LOTS 2303, 2304, & 2305
MONTGOMERY COUNTY, OHIO

SCALE: 1" = 40'

DATE: 11/11/2022

DESIGN:

N/A

DRAWN:

DAS

CHECKED:

STB

JOB NO.:

761711

SHEET NO.:

1 OF 1